PANANIA - LAHC 2021/505

171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213

LOT 42, 43, 44, 45 / DP35211

UNITS TYPES	
Type	Count
1BR	16
1BR Gold	6
2BR	15
2BR Adaptable	1
2BR Adaptable + Gold	4
TOTAL APARTMENTS: 42	42

SILVER/GOLD LIVEABLE UNITS - CONSTRUCTION NOTES
- Hobless Shower
- Wet areas to be such that flush transition is available

Silver Units: 1, 3, 5, 9, 10, 11, 12, 13, 15, 16, 17, 19, 20, 21, 22, 23, 25, 26, 27, 29, 30, 31, 32, 33, 35, 36, 37, 39, 40, 41, 42.
Gold Units: 4, 6, 7, 8, 14, 18, 24, 28, 34, 38.

GROSS FLOOR AREA	
Level	Area
GROUND LEVEL B	761.6 m²
LEVEL 1A	774.3 m²
LEVEL 2A	774.3 m²
LEVEL 3A	774.3 m²
LEVEL 4A	310.9 m²
	3395.3 m²

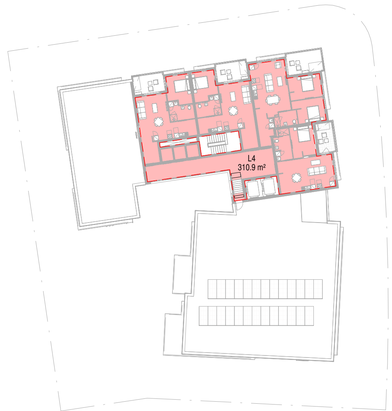
CAR SPACES - TYPES	
Type	Number
Class 1a - 2400w x 5400d (Resident/Employee)	14
Class 4 - 2400w x 5400d (Disabled)	5
	19

DESIGN COMPLIANCE TABLE

SITE AREA	2264.749m²			
	CONTROL		REQUIRED OR ALLOWED	PROPOSED
FSR	LEP		1:1	1.50:1
	HSEPP 2021		1:1 (LEP) + 0.5 bonus (HSEPP) = 1.5:1	
HEIGHT	CBLEP 2023 HSEPP 2021		13m + 30% bonus (proposed under Housing SEPP 2021) = 16.9m	Less than 16.9m Parapet = 17.5m
UNITS MIX	LAHC		22 x 1bed + 20 x 2bed (42 units)	22 x 1bed 20 x 2bed (42 units)
SETBACK	DCP	FRONT	-Primary street frontage: 6m -Secondary street frontage: 6m	Weston St GL: 6.0m / 2.9m (terraces) L1-3: 6.0m / 5.5m (balconies) Hinemoa St GL: 6.0m / 1.5m (terraces) L1-3: 6.0m / 5.5m (balconies)
		SIDE REAR	-3 or more storeys: 4.5m -Average setback: 0.6 multiplied by the wall height: 12.88x06=7.728m -Basement: 2m -Driveway: 1m	GL: 6.0m / 4.8m (terrace) L1-3: 6.0m / 6.0m (balcony) GL: 8.1m / 1.8m (terrace) L1-3: 6.0m / 6.0m (balcony)
CAR PARKING	Housing SEPP 2021		0.4 spaces per 1 bed dwellings 0.5 spaces per 2 bed dwellings	8.8+10=19 car spaces required (including 5 accesible car spaces)
LANDSCAPING	H. SEPP 2021		the lesser: 35m2 per dwelling (1470m2)	816.1m² / 36.0% Comply
			the lesser: 30% of the site (679.44m2)	314.4m² / 38.5% of total (forward of the building line)
DEEP SOIL	ADG		-Min 15% of site area with min 3m dimension (339.75m²) -Min 7% of site area with min 6m dimension (158.55m²)	225.1+431.3 = 656.4m² 28.9% - Comply 431.3m² = 19.0% - Comply
PRIVATE OPEN SPACE	Housing SEPP 2021 and ADG		GROUND - **15m2** / 3metre dim. UPPER FLOORS - **8m2**/ 2m - 1bed UPPER FLOORS - **10m2**/ 2m - 2beds	Comply
SOLAR ACCESS	Housing SEPP 2021 and ADG		-70% of units for 2 hours between 9am-3pm mid-winter to living areas and POS	78.6% Comply B 1
COMMUNAL OPEN SPACE	ADG		Communal open space has a minimum area equal to 25% of the site (566m²)	566 / 25% Comply
LIVEABLE AND ADAPTABLE HOUSING APPROACH.	DCP		20% Silver Standard 20% Gold Standard	32/42 -76.2% Silver Standard 10/42 -23.8% Gold Standard 5/42 -11.9% -Adaptable Note: Some units are both Adaptable and Silver/Gold

4 DA17 **GROUND LEVEL** 1 : 400

5 DA17 **LEVEL 1-3** 1 : 400



6 DA17 **LEVEL 4** 1 : 400

1 DA17 **DEEP SOIL AREA** 1 : 400

2 DA17 **LANDSCAPE** 1 : 400

3 DA17 **COS - Ground** 1 : 400

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ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

GENERAL LEGEND:

BR	Bedroom	FFL	Finished Floor Level	RWO	Rainwater Outlet
BRM	Broom Cupboard	LIN	Linen Cupboard	SWP	Storm Water Pit
CTL	Clothesline	MBX	Mailbox	TOW	Top of Wall
DW	Dishwasher	PTY	Pantry	TGSI	Tactile Indicators
ex.	Existing	RL	Relative Level		

TRUE NORTH

PROJECT
PANANIA - LAHC 2021/505
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SHEET SIZE: A1
SHEET NAME: **COVER SHEET + DATA TABLES**
SCALE: As indicated
DRAWING No. **DA01**
ISSUE No. **B**

Compliance Summary (SEPP65-2015 Apartment Design Guide - Design Criteria & Objectives)

	Design Criteria	Compliance	Proposal
3D-1	1. **Communal open space** has a minimum area equal to 25% of the site 2. Developments achieve a minimum of 50% **direct sunlight** to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)	Yes No.	1. The Common Open Space is 561m² / 25% of the site area. 2. The Common Open Space (COS) receives most direct sunlight in midwinter between the hours of 1-3pm. The neighbouring lot to the west is currently zoned for R4 High Density Residential. Any future residential flat building on that site would be required to maintain >50% direct sunlight to the subject COS, which the proposed development would facilitate. The current low density residential dwelling to the west overshadows the COS and would be demolished if an RFB was built in the future. Therefore, the minor overshadowing the COS has been excluded from the calculations, generating>50% direct daylight for 2 hours. The proposed development would receive between 45-48% direct sunlight for 2.5 hours (between 12:30pm-3pm) while the current low density residential development retained.
3E-1	1. **Deep soil zones** are to meet the following minimum requirements: Site Area: <650m² — Min. Dimension: - — Deep Soil Zone (% of site Area): 7% 650m²-1,500m² — 3m >1,500m² — 6m	Yes	1. Deep soil zones provided well exceed the minimum requirements. The site provides for a total area of 431.3m² of deep soil zone or 19.0% of total site, wider than 6m.
3F-1	**Separation between windows and balconies** is provided to ensure visual privacy is achieved. Min required separation distances from buildings to the side and rear boundaries are as follows: Building Height — Habitable rooms and balconies — Non-habitable rooms up to 12m (4 storeys) — 6m — 3m up to 25m (5-8 storey) — 9m — 4.5m over 25m (9+ storey) — 12m — 6m Gallery access circulation treated as habitable space when measuring privacy separation distances between neighbouring properties.	No. Minor encroachment for facade articulation & ground floor terraces	**Northern Setback:** N/A as this is a street facing setback. **Eastern Setback:** N/A as this is a street facing setback. **Western Setback:** 6m from the building line to the side boundary complies. A minor 300mm Balcony encroachment is proposed into the 6m zone for the purposes of built form articulation. A Minor encroachment of 1m to the ground level terrace to unit 01. the encroachment is neglible and is filled with landscpaing. the terrace encroachment is sought in order to comply with ADG Cl.4E-1 & to buffer the terrace from the COS. Encroachments are minor and a consoidered to satisfy the intent of Part 3F-1 **Southern Setback:** 6m from the building line to the side boundary complies. A minor 300mm Balcony encroachment is proposed into the 6m zone for the purposes of built form articulation. An Encroachment of Unit 07 terrace into the side setback on ground level is sought for the purposes of maximising the consolidated landscaped area surrounding the COS. The unit 07 terrace setback is 1.8m however is buffered with screen planting & comprises an internal planter 0.8m wide, providing a total landscape buffering of 2.8m. the terrace encroachment is considered a better design outcome then strict compliance given that a quality consiliated landscape treatment in the south west corner can be achieved which is of benifit to the neighbouring properties.
4A-1	1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours **direct sunlight** between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas. 3. A maximum of 15% of apartments in a building receive **no direct sunlight** between 9 am and 3 pm at mid winter	Yes Yes	1. 78.6% [33-42] of apartments receive 2 hours of direct sunlight. 3. 7.1% [3-42] of apartments do not receive direct sunlight between 9am & 3pm at mid winter
4B-3	1. At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed 3. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line	Yes N/A	1. 61.9% [26-42] of apartments are cross-ventilated
4C-1	Measured from finished floor level to finished ceiling level, **minimum ceiling heights** are: Minimum ceiling height for apartment and mixed use buildings Habitable rooms — 2.7m Non-habitable — 2.4m For 2 storey apartments — 2.7m for main living area; 2.4m for second floor, where its area does not exceed 50% of the apt area.	Yes	Minimum ceiling heights are in accordance with the design criteria. **to ensure the design is capable of compliance the floor to floor heights have been set at 3.15m.**
4D-1	1. Apartments are required to have the following **minimum internal areas**: Apartment type — Minimum internal area Studio — 35m² 1 bedroom — 50m² 2 bedroom — 70m² 3 bedroom — 90m² The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each 2. Every habitable room must have a window in an external wall with a total **minimum glass area** of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.	Yes Yes	Internal apartment areas are in accordance with the design criteria and exceed the minimum internal floor areas required.
4D-2	1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window	N/A Yes, with qualifications - units 05, 15, 25 & 35	All units comprise a combined living, dining and kitchen Habitable room depths are in accordance with the design criteria. In relation to living rooms with an overall depth exceeding 8m(units 05, 15, 25 & 35) the kitchen is located within 8m of the window, on this basis compliance is achieved.
4D-3	1. Master bedrooms have a minimum area of 10m² and other bedrooms to have 9m² (excluding wardrobe space) 2. Bedrooms have a minimum dimension of 3m (excl. wardrobe space) 3. Living rooms or combined living/dining rooms have a minimum width of: • 3.6m for studio and 1 bed apartments • 4m for 2 and 3 bedroom apartments	Yes Yes Yes	All bedrooms achieve the minium area requirements and are greater then 9m² & Master bedrooms are greater then 10m². All bedrooms exceed or are equal to the minimum dimension of 3m. All living rooms to 2 bedroom apartments are at least 4m wide. All Living Rooms to 1 Bedroom Apartments are at least 3.6m wide.
4E-1	1. All apartments are required to have **primary balconies** as follows: Dwelling type — Minimum area — Minimum depth Studio apartments — 4m² — - 1 bedroom apartments — 8m² — 2m 2 bedroom apartments — 10m² — 2m 3+ bedroom apartments — 12m² — 2.4m The minimum balcony depth to be counted as contributing to the balcony area is 1m. 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m	Yes Yes	1. Balconies provided to apartments are in accordance with this design criteria. 2. Terraces provided to apartments are in accordance with this design criteria.
4F-1	1. The maximum number of apartments off a circulation core on a single level is eight 2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40	Yes n/a	1. The building floor plate comprises 2 x cores featuring 2 x lifts and stair wells. Although the floor plates are joined by a corridor Each seperate core core provides access to less then 8 units i.e: 6 (block B-Weston St) and 4 (block A-Hinemoa St) apartments. by the provision of two lifts and stairs it is considered that this criteria is achieved.
4G-1	1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: Apartment type — Storage size volume Studio — 4m³ 1 bedroom — 6m³ 2 bedroom — 8m³ 3+ bedroom — 10m³ At least 50% of the required storage is to be located within the apartment	Yes	All apartments have been each allocated Storage in the basement and in the apartments. The storage volumes provided exceed the minimum requirements. Apartments 02 and 03 do not achieve 50% of the storage requirement within the apartment, however this variance is minor at approximately 20%. Given that the storage provision provided to all the apartments exceeds the minimum requirement, this is considered a very minor deviation from this control and on balance should be considered an acceptable outcome in achieving the objectives of this clause.

Design Statement (Housing SEPP - Design Quality Principles)

Principle 1: Context and Neighbourhood Character

The local character comprises of predominantly post war monochromatic of low rise, low denisty single storey brick dwellings, austerely detailed in a garden setting. The dwellings present simply detailed timber double hung corner windows to living rooms addressing the public domain.
Floor plans of the dwellings are compact and pitched roof forms are simple and uncomplicated. Contemporary two storey dwellings and dual occupancies are interspersed between the post war housing.
The frontages of the dwellings are typically not fenced, with planting defining the relationship and transition between the public and private domain.

The existing low density housing in the context of the nearby local shops and heavy rail infastructure is at odds with the desired future character and therefore is an area in transition. Some transition to medium density in this area is evident and has already occured. This proposal among other future proposals will further contribute to the transition from low density to higher density housing.

Principle 2: Built Form and Scale

The design responds to its associated context (identified in Principle 1): The proposal is to construct a single building addressing Weston St and Hinemoa St. The facade is well articulated and the footprint sits well within the regular shaped site, mimicing the layout pattern of dwellings along both Weston St and Hinemoa St. Common open space is located on Ground at the rear of the property to maximise privacy and form a consolidated landcape parcel. The result is an outcome which maximises cross ventilation and natural light to a large proportion of the proposed units. Accordingly the cross ventilation and direct solar access between 9am & 3pm at mid winter exceeds the minimum requirements.

SEPP65 setbacks and height controls have been generally adopted in the proposal. In order to accommodate visual interest and building articulation the proposed setbacks comprise minor variation in parts from the minimum SEPP65 requirements.
It is assumed that the proposed setbacks would be found acceptable.

Principle 3: Density

The subject site lies within an area undergoing transition from low rise housing to high density housing.

The proposed intensification of denisty is deemed suitable and reflects the desired future character of the location.

Given the transitional site context, the impact of the proposal low density neighbouring properties has been considered.

The neighbouring properties at 8 Hinemoa St(single Dwelling) and 175/175a Weston St(recently constructed Dual occupancy) are directly adjoining the proposal's side boundaries. The design has considered impacts to these existing neighbouring properties by addressing the following:

- Compliance with Solar Access controls is achieved to the POS and Living room of the adjoining dwellings and is demonstrated on the solar study diagrams.
- Bulk & scale is minimised by directing the proposed floor area towards the perimeter street frontages away from the rear POS of the neighbouring properties.
- The Building depth side of the building addresses the side setbacks and is limited to two apartments.
- Building side setbacks are varied between 6-23m and comply with the requirements of the ADG under part 3F.
- Units at the rear of the proposal face the rear of the block into the proposed COS. The units do not face the side setbacks or side neighbouring properties.

Principle 4: Sustainability

The Apartment Design Guide 2015 aims *to deliver improved sustainability through better traffic and transport solutions, greater building adaptability and robustness, improved energy efficiency and water sensitive urban design.*

The proposed development aims to exceed the minimum standards of the ADG 2015 wherever possible.

The development features well designed apartments with cross ventilation and solar access to the vast majority of the apartments, exceeding the minimum requirements.

Sustainability features include:

- Functional floor layouts. All internal rooms and unit size comply with minimum areas and room size/widths required under the ADG. Floor Areas are designed to the minimum size to reduce materials input and embodied energy.
- Consideration of affordable ongoing costs for residents by providing clothes lines on balcony(screened from public domain), efficient hot water storage unit in basement with heat pump. Provision of solar panels and 'solshare' exceeding minimum Basix requirements to offset electricity costs of Air conditioning and hot water.
- No natural gas provided in solidarity with the renewable targets looking to 'electrify' building services so that renewable targets can be achieved.
- Reduced number of unit types to drive efficiency through construction & reduce wastage.
- One bathroom provided per unit and where possible laundries provided in bathrooms to drive efficiency through construction.

Principle 5: Landscape

Deep soil planting has been embellished along all side and rear boundaries allowing full height trees to grow and provide privacy between the neighbouring properties and potential future adjacent developments.

Basement carparking has been designed to minimize the footprint and be mainly located underneath the building, the basement setback to the street alingment is at least 6m so that the streetscape planting is not impacted by in any way by the basement caprark. Therefore deep soil area in the street setback is maximised to support growth of the proposed planting.

The landscaping strategy features multiple layers and zones.
The first zone is the internal landscaping area arising from The L-Shaped building form. The built form has a hollow core featuring a landscaped focal point which is visible from the common area lift lobbies and walkway to the COS.

The second zone is the landscaped common open space(COS). The COS is consolidated to the rear corner of the property into a large, usable and functional space. The usable portion of the COS is surrounded by landscaping which provides amenity and forms a buffer to the adjoining POS & neighbouring properties.

The third zone considered is the Ground Level Public interface with landscaping provided to the building entries, courtyards/POS frontages and council verge. The POS courtyards have been setback from the property boundary so that landscaping along the public domain can soften the edge of the courtyards. This relates to the landscaping of the surrounding context which primarily comprises single dwellings with landscaped front yards being visible from the street. Existing Street trees along Weston Street and the recently planted street trees along Hinemoa street are to be protected and retained and are not impacted by the proposed works. The new Driveway serving the development requires the removal of one street tree from the secondary street frontage. Given the small size of this tree and that it is located under power lines and that there are numerous other existing street trees to this frontage we consider the removal of Tree 17 an acceptable impact on the streetscape. the council verge contains numerous mature and recently planterd street trees which contribute to the landscape amenity of the public domain and the proposed development.
The courtyard fences have been designed as solid masonry construction minditul of the high vehicle and pedestrian traffic along Weston St and Hinemoa St.

The fourth zone is the treatment of the side setbacks between the proposed flat building and the neighbouring properties. The side setbacks are designed with mass planting featuring large trees and screen planting. No usable or habitable areas of common open space are provided in these zones to protect the amenity of neighbouring properties.

Principle 6: Amenity

The proposal has been designed in consideration of the amenity of the building ap[artments and internal and external common areas used for open space and ciruclation.
The apartments internal living areas comprise efficent and functional room layouts whilst maximizing daylight access and natural cross ventilation.

The apartment layouts are efficient and meet the minimum ADG requirements. All units have been designed to at least meet the 'silver' level of accessibility standards with some units being designed to the gold standard.

Sunshading Devices have been applied to all windows to the facade to control solar access and provide weatherproofing to the building

Internal amenity in the common areas and building ciruclation spaces by connecting the circulation and lift lobbies with the external enovironment. An Internal landscaped focal point is located in the centre of the proposal and is wrapped by the central circulation spine. the landscaped focal point is observable from the lift lobbies and ciruclation corridors.

Consolidated Landscaped areas to the south West corner of the site is a focal point to observe from the common areas of the proposal and acts as an 'oasis', a place for residents to retreat from the surrounding busy streets. The extensive landscpaing to the rear provides a high level of amenity to this proposal and the surrounding sites.

Principle 7: Safety

Secure pedestrian entry into the site has been provided and is clearly visible and legible from the public domain. To increase street activation and passive surveillance to street entries are provided to both Weston Street and also Hinemoa.

Intercom access to the building is provided for security & CCTV monitoring is also proposedat the entry provides security from street.

The basement carpark is secured by a roller shutter. Entry into the basement carpark is controlled via a security system such a swipe card, remote control or pin code access device to gain access. The access control system is to be determined during the construction certificate phase of the project.

Side Fences at the building line secure the external areas of the development. Gates are provided in the side fences to allow for egress and access for maintenace personel.

Principle 8: Housing Diversity & Social Interaction

The development features a mix of 1br & 2br apartments in response to the soical housing breif set by Homes NSW at a ratio of 50/50. The housing mix has been set by Homes NSW based on meeting the requirements of the community.

The building has been designed to encourage social interaction between residents by the design of the lift lobbies and the Common Area.
Lift Lobbies are light filled spaces with expansive outlook to the landscaped common areas and the circulation/lift lobbies of other levels. These common area ociulation/lift lobby spaces are pleasant places to interact given the high degree of amenity and strong visiaul connections to the outside as well as other levels.

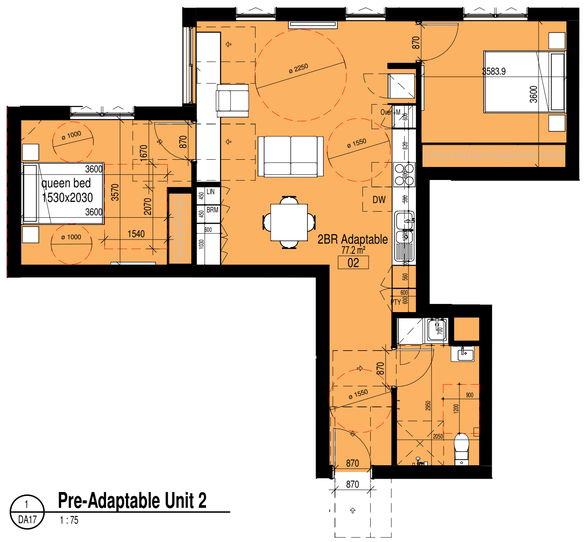
Principle 9: Aesthetics

The character of the building reflects the context in which it is located (as identified in Principle 1).

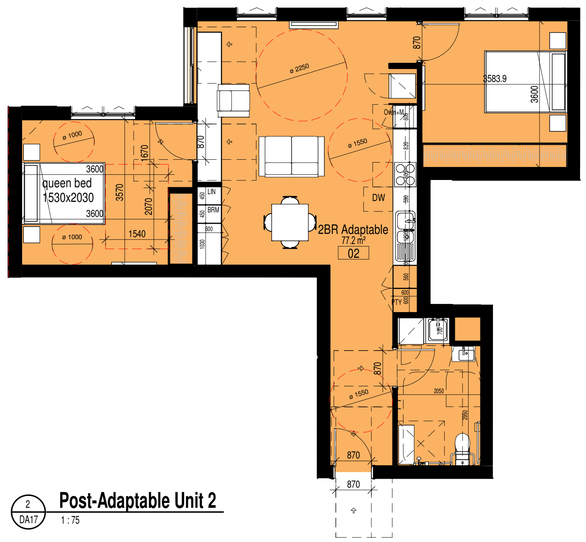
The combination of facade articulation and surrounding landcsaping successfully integrate with it's context of buildings in garden settings.

The facades and associated aesthetics have been designed in consideration of high noise and traffic impacts arising from the close proximity of the rail corridor, train station and neighbourhood shops. The impact of this proximity results in a high degree of vehicle and pedestrian traffic passing through Westonand Hinemoa Streets. The façade also responds to the opportunity to observe district views to the north and east. Accordingly The design considerations in response to these site characteristics include:

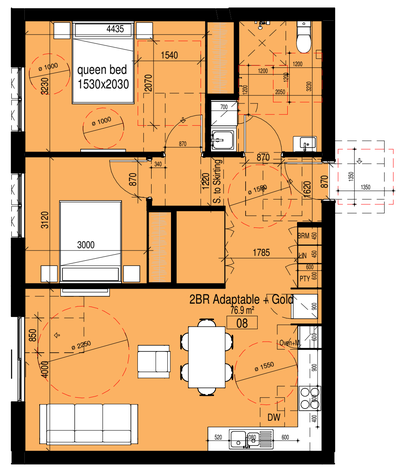
- Masonry style courtyard fences at ground level to protect amenity of ground level apartments from vehicle and pedestrian traffic.
- Painted Steel balustrades and screens with limited permability provide additional environmental protection from vehicle and rail noise, cover the clothes line provide a high degree of privacy.
- Majority of proposed Living room windows are located on the façade perimeter(instead of laminated by balcony) to maximise solar access to internal spaces.
- All bedroom and Living room windows facing North, East and West are screened with sunshade devices to suit the orientation.
- Given the length of the building façade addressing two street frontages articulation techniques have been adopted as follows:
  - Grouping façade/unit volumes into vertical portions.
  - Designated groupings feature a distinct character.
  - The distinct grouped character is repated along the facade to provide rythym and coherance.
  - Given the building floor levels step down to suit the topography, this has provided the opportunity to Articulate the building into two parts. A vertical break is used at Stair B comprising a recessed glazed wall setback from the main building line to form the break between the two parts. The recessed break and change in level between the northern and southern building wings storngly articualtes the building into two parts and mitigates the perception of building length.



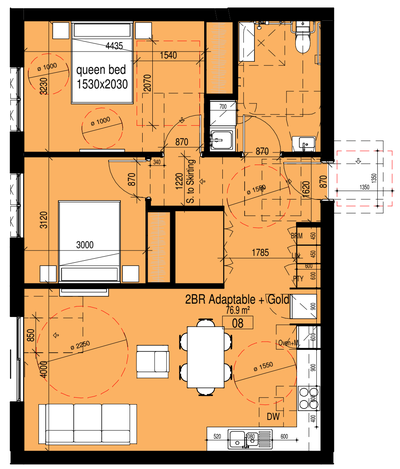
1 DA17 **Pre-Adaptable Unit 2**
1 : 75



2 DA17 **Post-Adaptable Unit 2**
1 : 75



3 DA17 **Pre-Adaptable Units 8, 18, 28, 38**
1 : 75



4 DA17 **Post-Adaptable Units 8, 18, 28, 38**
1 : 75

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
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PROJECT No. **21042**
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SHEET SIZE: A1
SCALE: 1 : 75
SHEET NAME: **DESIGN PRINCIPLES & ADG COMPLIANCE**
DRAWING No. **DA02**
ISSUE No. **A**

24/2/2025 17:33:05 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt

CORNER AT HINEMOA - WESTON STREET

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

NOTE:

The 3D visualisations shown herein are considered an artists impression intended to communicate design intent only. The accuracy of elements shown in these images, including site context, may not be modelled accurately. Refer to site survey as well as architectural plans, sections and elevations for more detailed information.

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

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PROJECT No. **21042**

CLIENT
LAHC

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SHEET SIZE: A1
SCALE:
SHEET NAME: **3D VIEWS - SHEET 1**
DRAWING No. **DA03**
ISSUE No. **A**

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HINEMOA STREET

WESTON STREET

HINEMOA STREET

COURTYARD

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

NOTE:

The 3D visualisations shown herein are considered an artists impression intended to communicate design intent only. The accuracy of elements shown in these images, including site context, may not be modelled accurately. Refer to site survey as well as architectural plans, sections and elevations for more detailed information.

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

NSW GOVERNMENT

PROJECT No. **21042**

CLIENT
LAHC

MORSON GROUP

NOMINATED ARCHITECT - P F
MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4944
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1

SCALE:

SHEET NAME: **3D VIEWS - SHEET 2**

DRAWING No. **DA04**

ISSUE No. **A**

24/2/2025 17:33:05 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt

UNIT SCHEDULE

				PRIVATE OPEN SPACE	SOLAR						
NO.	Nº of BEDS	Livable Rating	AREA	AREA POS	LIVING	POS	NO DIRECT SOLAR	TIME LIVING	TIME POS	HOURS	CROSS-V.
01	2BR	Silver	72.1 m²	14.2 m² TERRACE	Yes	Yes	No	13:00-15:00	13:00-15:00	2h	Yes
02	2BR Adaptable	Adaptable	77.2 m²	21.6 m² TERRACE	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	No
03	2BR	Silver	70.4 m²	61.1 m² TERRACE	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
04	1BR Gold	Gold	52.2 m²	32.8 m² TERRACE	Yes	Yes	No	9:00-11:30	9:00-13:00	2h 30min	No
05	1BR	Silver	51.8 m²	42.6 m² TERRACE	Yes	Yes	No	9:00-11:00	9:00-12:30	2h	No
06	1BR Gold	Gold	59.4 m²	45.9 m² TERRACE	No	Yes	No	9:00-10:00	9:00-12:00	1h	Yes
07	1BR Gold	Gold	52.5 m²	25.5 m² TERRACE	No	No	Yes		14:00-15:00	0h	Yes
08	2BR Adaptable + Gold	Gold	76.9 m²	15.1 m² TERRACE	No	No	Yes			0h	Yes
09	1BR	Silver	50.7 m²	11.0 m² BALCONY	Yes	Yes	No	13:00-15:00	13:00-15:00	2h	Yes
10	2BR	Silver	71.1 m²	12.9 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
11	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	9:30-15:00	9:00-15:00	5h 30min	No
12	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	10:30-15:00	9:00-15:00	4h 30min	No
13	2BR	Silver	70.4 m²	13.4 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
14	1BR Gold	Gold	52.3 m²	8.5 m² BALCONY	Yes	Yes	No	9:00-11:30	9:00-12:00	2h 30min	No
15	1BR	Silver	51.8 m²	8.3 m² BALCONY	Yes	Yes	No	9:00-11:00	9:00-11:30	2h	No
16	2BR	Silver	75.9 m²	13.6 m² BALCONY	No	Yes	No	9:00-10:30	9:00-11:00	1h 30min	Yes
17	2BR	Silver	75.0 m²	12.7 m² BALCONY	Yes	Yes	No	13:00-15:00	12:00-15:00	2h	Yes
18	2BR Adaptable + Gold	Gold	76.9 m²	11.5 m² BALCONY	No	No	Yes			0h	Yes
19	1BR	Silver	50.7 m²	11.0 m² BALCONY	Yes	Yes	No	13:00-15:00	13:00-15:00	2h	Yes
20	2BR	Silver	71.1 m²	12.9 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
21	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	9:30-15:00	9:00-15:00	5h 30min	No
22	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	10:30-15:00	9:00-15:00	4h 30min	No
23	2BR	Silver	70.4 m²	13.4 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
24	1BR Gold	Gold	52.3 m²	8.5 m² BALCONY	Yes	Yes	No	9:00-11:30	9:00-12:00	2h 30min	No
25	1BR	Silver	51.8 m²	8.3 m² BALCONY	Yes	Yes	No	9:00-11:00	9:00-11:30	2h	No
26	2BR	Silver	75.9 m²	13.6 m² BALCONY	No	Yes	No	9:00-10:30	9:00-11:00	1h 30min	Yes
27	2BR	Silver	75.0 m²	12.4 m² BALCONY	Yes	Yes	No	13:00-15:00	12:00-15:00	2h	Yes
28	2BR Adaptable + Gold	Gold	76.9 m²	11.5 m² BALCONY	No	No	No	14:00-14:30	13:30-14:00	30 min	Yes
29	1BR	Silver	50.7 m²	11.0 m² BALCONY	Yes	Yes	No	13:00-15:00	13:00-15:00	2h	Yes
30	2BR	Silver	71.1 m²	12.9 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
31	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	9:30-15:00	9:00-15:00	5h 30min	No
32	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	10:30-15:00	9:00-15:00	4h 30min	No
33	2BR	Silver	70.4 m²	13.4 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
34	1BR Gold	Gold	52.3 m²	8.5 m² BALCONY	Yes	Yes	No	9:00-11:30	9:00-12:00	2h 30min	No
35	1BR	Silver	51.8 m²	8.3 m² BALCONY	Yes	Yes	No	9:00-11:00	9:00-11:30	2h	No
36	2BR	Silver	75.9 m²	13.6 m² BALCONY	No	Yes	No	9:00-10:30	9:00-11:00	1h 30min	Yes
37	2BR	Silver	75.0 m²	12.4 m² BALCONY	No	Yes	No	14:00-15:00	12:30-15:00	1h	Yes
38	2BR Adaptable + Gold	Gold	76.9 m²	11.5 m² BALCONY	Yes	Yes	No	12:30-15:00	11:00-14:30	2h 30min	Yes
39	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	9:30-15:00	9:00-15:00	5h 30min	Yes
40	1BR	Silver	55.9 m²	9.9 m² BALCONY	Yes	Yes	No	10:30-15:00	9:00-15:00	4h 30min	No
41	2BR	Silver	70.4 m²	13.4 m² BALCONY	Yes	Yes	No	9:00-15:00	9:00-15:00	6h	Yes
42	1BR	Silver	52.3 m²	8.5 m² BALCONY	Yes	Yes	No	9:00-11:30	9:00-12:00	2h 30min	Yes
TOTAL APTS: 42		31 Silver 10 Gold (see Access. Report)	2654.6 m²		33/42	38/42	3/42 7.1%			26/42 61.9%	
					33/42 78.6% (2 HOURS)						

1 Height Limit

STORAGE SCHEDULE

Allocation	Type	Volume
02		
2BR Adaptable	Storage Cupboards	3.13 m³
CARPARKING	Storage Cage	5.86 m³
		8.99 m³
03		
2BR	Storage Cupboards	3.31 m³
CARPARKING	Storage Cage	5.86 m³
		9.17 m³
04		
1BR Gold	Storage Cupboards	5.48 m³
CARPARKING	Storage Cage	5.86 m³
		11.34 m³
05		
1BR	Storage Cupboards	3.65 m³
CARPARKING	Storage Cage	5.86 m³
		9.50 m³
06		
1BR Gold	Storage Cupboards	5.08 m³
CARPARKING	Storage Cage	5.86 m³
		10.94 m³
07		
1BR Gold	Storage Cupboards	5.64 m³
CARPARKING	Storage Cage	5.86 m³
		11.50 m³
08		
2BR Adaptable + Gold	Storage Cupboards	8.07 m³
CARPARKING	Storage Cage	5.86 m³
		13.93 m³
09		
1BR	Storage Cupboards	5.80 m³
CARPARKING	Storage Cage	5.86 m³
		11.66 m³
10		
2BR	Storage Cupboards	5.72 m³
CARPARKING	Storage Cage	5.86 m³
		11.58 m³
11		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	5.86 m³
		11.05 m³
12		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	5.86 m³
		11.05 m³
13		
2BR	Storage Cupboards	4.17 m³
CARPARKING	Storage Cage	5.86 m³
		10.03 m³
14		
1BR Gold	Storage Cupboards	5.48 m³
CARPARKING	Storage Cage	5.86 m³
		11.34 m³
15		
1BR	Storage Cupboards	3.65 m³
CARPARKING	Storage Cage	5.86 m³
		9.50 m³
16		
2BR	Storage Cupboards	7.80 m³
CARPARKING	Storage Cage	5.86 m³
		13.66 m³

STORAGE SCHEDULE

Allocation	Type	Volume
17		
2BR	Storage Cupboards	5.78 m³
CARPARKING	Storage Cage	5.86 m³
		11.64 m³
18		
2BR Adaptable + Gold	Storage Cupboards	8.07 m³
CARPARKING	Storage Cage	5.86 m³
		13.93 m³
19		
1BR	Storage Cupboards	5.07 m³
CARPARKING	Storage Cage	5.86 m³
		10.93 m³
20		
2BR	Storage Cupboards	5.72 m³
CARPARKING	Storage Cage	5.86 m³
		11.58 m³
21		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	4.88 m³
		10.07 m³
22		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	4.88 m³
		10.07 m³
23		
2BR	Storage Cupboards	4.17 m³
CARPARKING	Storage Cage	5.86 m³
		10.03 m³
24		
1BR Gold	Storage Cupboards	5.48 m³
CARPARKING	Storage Cage	5.86 m³
		11.34 m³
25		
1BR	Storage Cupboards	3.65 m³
CARPARKING	Storage Cage	5.86 m³
		9.50 m³
26		
2BR	Storage Cupboards	6.99 m³
CARPARKING	Storage Cage	5.86 m³
		12.85 m³
27		
2BR	Storage Cupboards	5.78 m³
CARPARKING	Storage Cage	5.86 m³
		11.64 m³
28		
2BR Adaptable + Gold	Storage Cupboards	8.07 m³
CARPARKING	Storage Cage	5.86 m³
		13.93 m³
29		
1BR	Storage Cupboards	5.80 m³
CARPARKING	Storage Cage	5.86 m³
		11.66 m³
30		
2BR	Storage Cupboards	5.72 m³
CARPARKING	Storage Cage	5.86 m³
		11.58 m³
31		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	5.86 m³
		11.05 m³

STORAGE SCHEDULE

Allocation	Type	Volume
32		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	5.86 m³
		11.05 m³
33		
2BR	Storage Cupboards	4.17 m³
CARPARKING	Storage Cage	5.86 m³
		10.03 m³
34		
1BR Gold	Storage Cupboards	5.48 m³
CARPARKING	Storage Cage	5.86 m³
		11.34 m³
35		
1BR	Storage Cupboards	3.65 m³
CARPARKING	Storage Cage	5.86 m³
		9.50 m³
36		
2BR	Storage Cupboards	7.80 m³
CARPARKING	Storage Cage	5.86 m³
		13.66 m³
37		
2BR	Storage Cupboards	5.78 m³
CARPARKING	Storage Cage	5.86 m³
		11.64 m³
38		
2BR Adaptable + Gold	Storage Cupboards	8.07 m³
CARPARKING	Storage Cage	5.86 m³
		13.93 m³
39		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	5.86 m³
		11.05 m³
40		
1BR	Storage Cupboards	5.19 m³
CARPARKING	Storage Cage	5.86 m³
		11.05 m³
41		
2BR	Storage Cupboards	4.17 m³
CARPARKING	Storage Cage	5.86 m³
		10.03 m³
42		
1BR	Storage Cupboards	5.48 m³
CARPARKING	Storage Cage	5.86 m³
		11.34 m³
Grand total: 212		461.65 m³

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

PROJECT No. **21042**
CLIENT
LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
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PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE:
SHEET NAME: **UNIT SCHEDULE**
DRAWING No. **DA05**
ISSUE No. **B**

PREDOMINANT BLOCK AND LOT PATTERNS

Most of the lots tend to be rectangular shaped. However, almost all of them are irregular shaped and it is not easy to find many similar plots. This pattern varies due to the irregular structure of the urban fabric and roads.

LOT CHANGE OVER TIME

There have been no relevant changes in lots shape and size over time. Basically, the structure of the area is almost the same than when it was urbanized around half century ago. Most of the buildings are detached residential dwellings. Some excepcions exist where medium density residential buildings have been developed and lots amalgamated.

TYPICAL LOT SIZES, SHAPE AND ORIENTATION

The typical lot tends to be rectangular shaped at around 600m². Some of them are irregular shaped, but even on that cases they tend to be rectandular shaped. Orientation may vary depending on the road structure due it is quite irregular in shape. Therefore we are not able to consider there is a predominant orientation.

BEST LOTS FOR INTENSIFICATION

Best lots for high density residential intensification are those located along main roads, close proximity to bus stops and railway station & of regular shape. Intensification in irregular or regular shaped lots for high density will require lot amalgamation.

LOT AMALGAMATION

Lot amalgamation is necessary to support future development. Most of the lots are irregular shaped and it will be more efficient to join lots in order to take adavantage of the site as much as possible. Additionally, setbacks restrictions will be easier to comply in big lots.

MOST SUITABLE SITES FOR INTENSIFICATION

Corner sites and sites with two street frontages, as well as non excessively deep sites, are more suitable for amalgamation and intensification. On the other hand, narrow and deep sites will be less suitable due to most of the units will face side setbacks instead of the main street.

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

TRUE NORTH

0 5 10 15 20 50m
SCALE 1:500@A1 (1:1000@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
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PARRAMATTA NSW 2124
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PROJECT No. **21042**
CLIENT LAHC

MORSON GROUP
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ACN 159 480 056, ABN 41 159 480 056
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PO Box 170, Ports Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 500
SHEET NAME: **BLOCK ANALYSIS STUDY**
DRAWING No. **DA06**
ISSUE No. **A**

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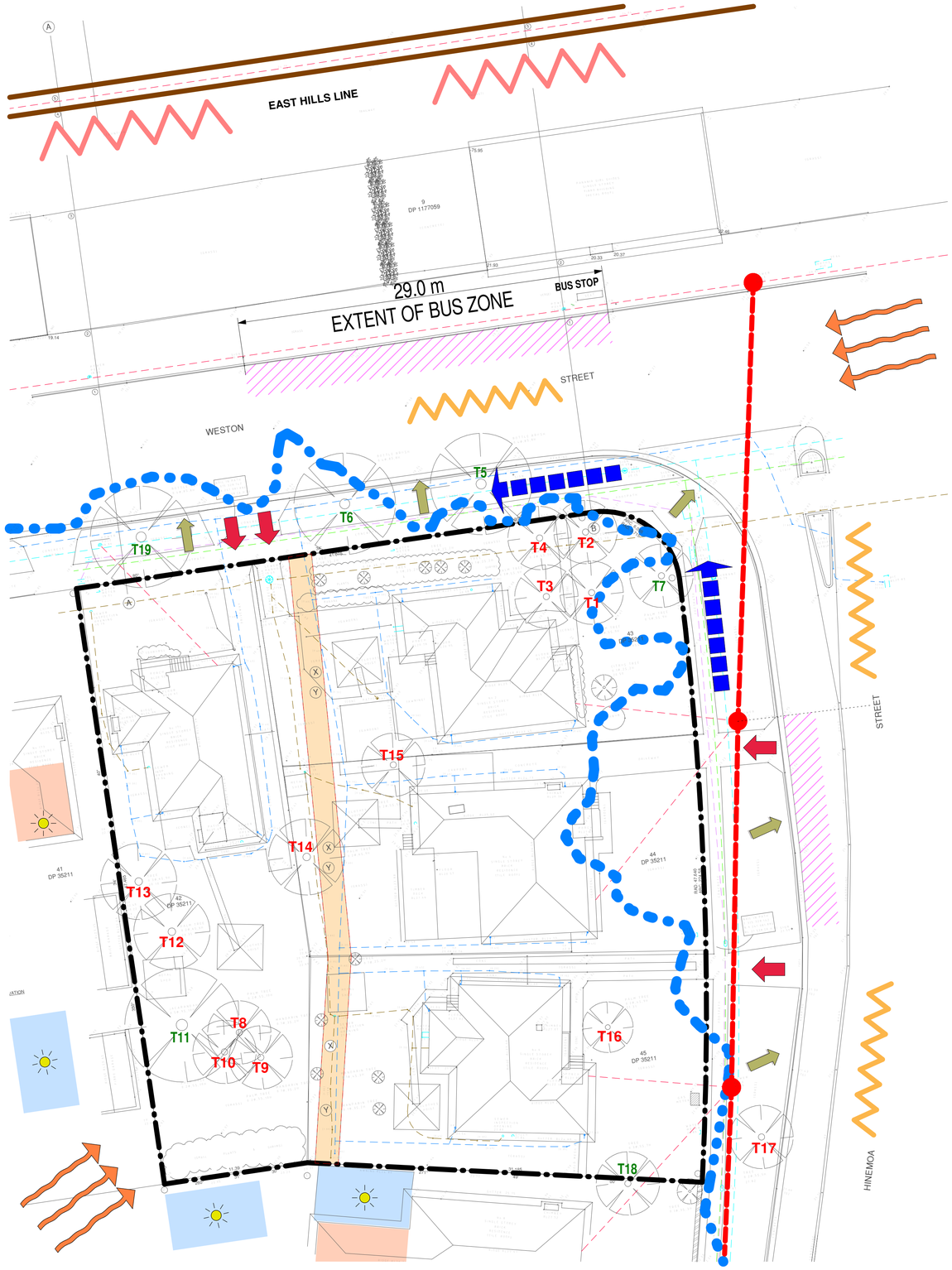

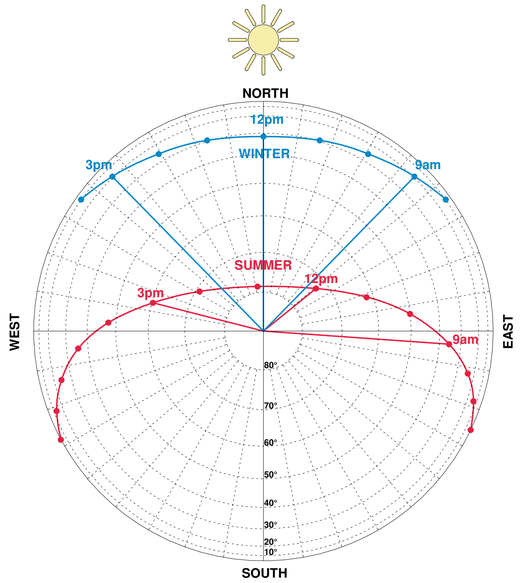

SITE ANALYSIS LEGEND	
Views Out	
Ventilation Paths	
Subject Site: Communal Open Space	
Adjoining Site: Private Open Space	
Habbitable Living rooms	
Receives > 3hrs of sunlight 9am & 3pm on 21st June	
Receives < 3hrs of sunlight 9am & 3pm on 21st June	
Sources of Noise (Less/More)	
Winds	
Vehicular Entry	
Pedestrian Entry	
High light overhead power lines	
Existing Drainage Easement	
Existing Tree Removal	T#
Medium Risk Area Flood Impact	
Extent of Bus Zone	
High Pedestrian Movements Towards Train Station	
Existing Stormwater	
Existing Water services	
Existing Gas services	
Existing Telecom (DBYD)	
Railway	

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ABN 41 159 480 056 NOMINATED ARCHITECT: P Morson(8100)

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

TRUE NORTH

0 5 10 15 20m

SCALE 1:200@A1 (1:400@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

PROJECT No. **21042**

CLIENT
LAHC

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NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
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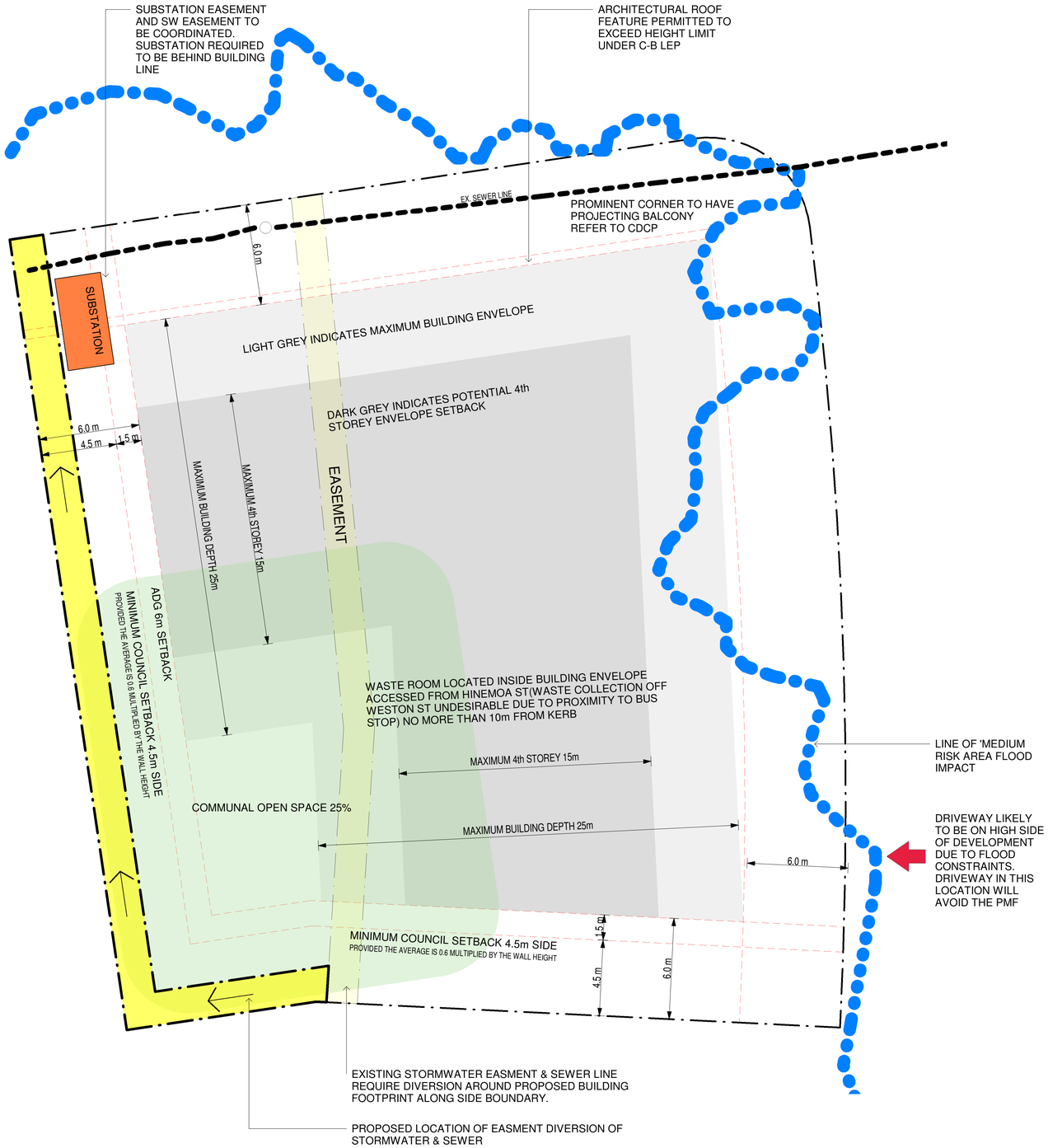
SHEET SIZE: A1

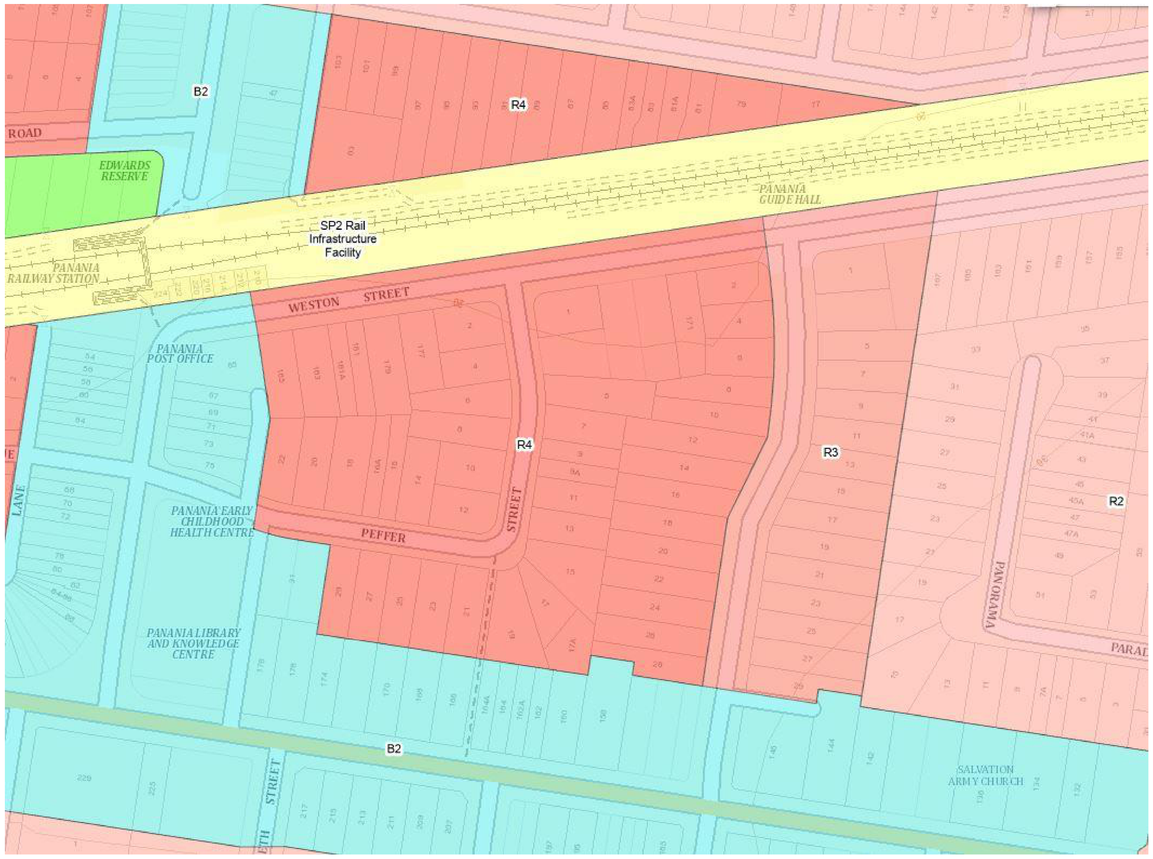
SCALE: 1 : 200

SHEET NAME: **SITE ANALYSIS**

DRAWING No. **DA07**

ISSUE No. **A**





LOCAL CHARACTER

The local character consists of predominantly of post war monochromatic single storey brick dwellings, austerely detailed in a gander setting. Simply detailed timber double hung corner windows to living rooms addressing the public domain.

Plans are compact and pitched roof forms are simple and uncomplicated. Contemporary two storey dwellings and dual occupancies are interspersed between the post war housing. The frontages of the dwellings are typically not fenced, with planting defining the relationship and transition between the public and private domain.

Legend

Zone

- B1 Neighbourhood Centre
- B2 Local Centre
- B4 Mixed Use
- B5 Business Development
- B6 Enterprise Corridor
- B7 Business Park
- E1 National Parks and Nature Reserves
- IN1 General Industrial
- IN2 Light Industrial
- R2 Low Density Residential
- R3 Medium Density Residential
- R4 High Density Residential
- RE1 Public Recreation
- RE2 Private Recreation
- RU4 Rural Small Holdings
- SP1 Special Activities
- SP2 Infrastructure
- W1 Natural Waterways
- UL Unzoned Land

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

TRUE NORTH

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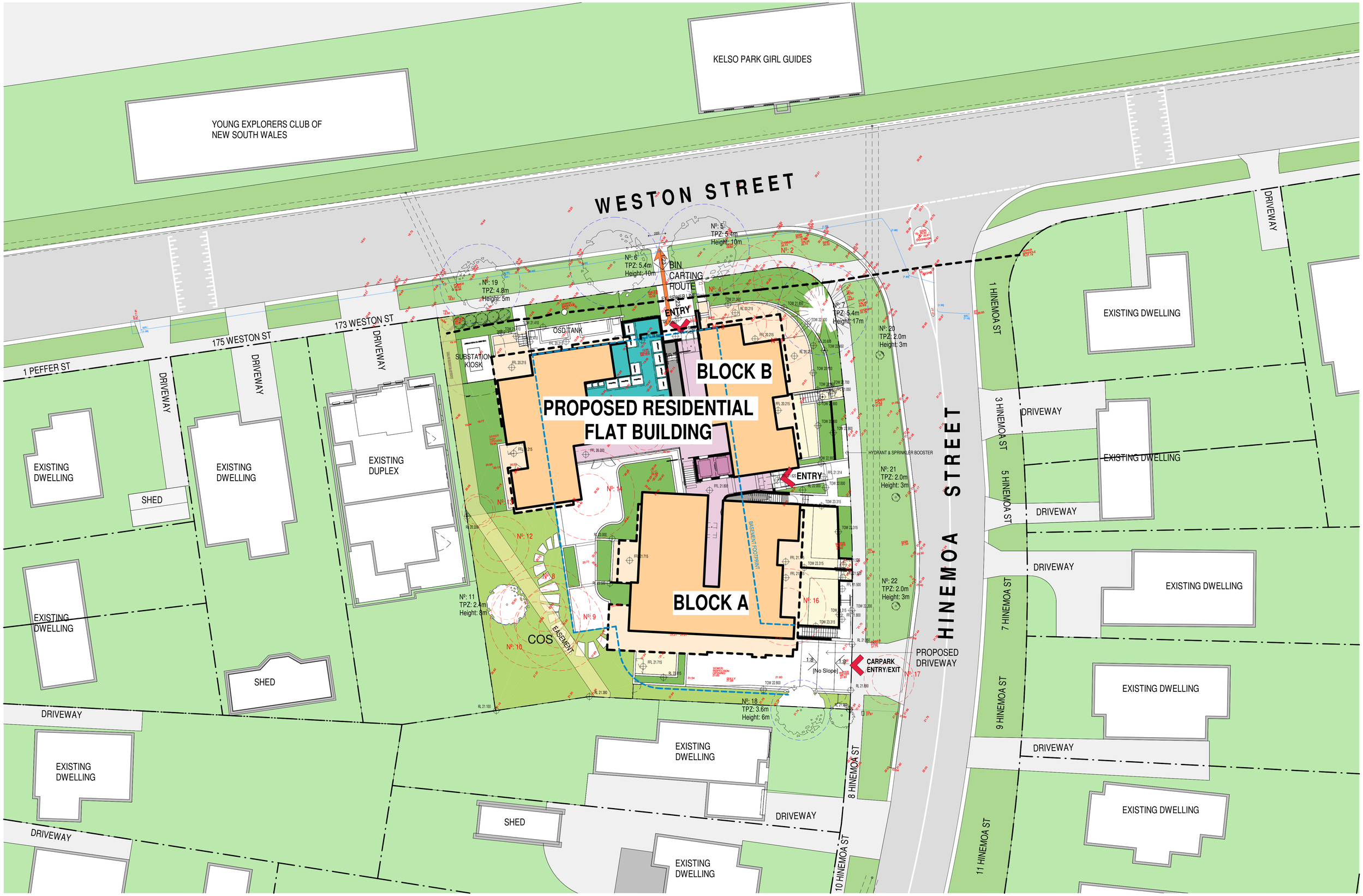
PO Box 170, Forth Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 150

SHEET NAME: **SITE ANALYSIS PLAN - DEVELOPMENT CONDITIONS**

DRAWING No. **DA08**
ISSUE No. **A**

24/2/2025 18:03:09 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt



ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

TRUE NORTH

0 5 10 15 20m
SCALE 1:200@A1 (1:400@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
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PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 200

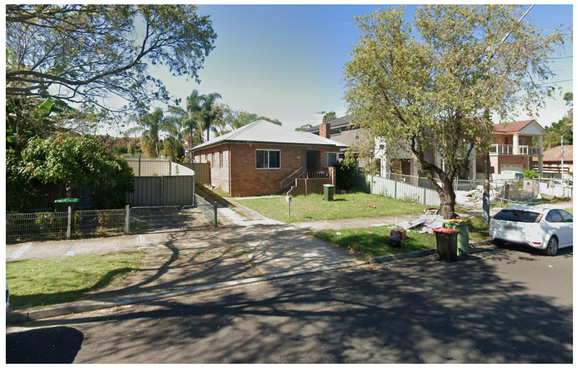
SHEET NAME: **SITE PLAN**

DRAWING No. **DA09**
ISSUE No. **B**

25/2/2025 15:02:48 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250225_CC.rvt

2 Hinemoa St

4-6 Hinemoa St



171 Weston

Weston Hinemoa Corner

1. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES TO THE COUNCIL'S SPECIFICATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION.

2. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN A SATISFACTORY WORKING ORDER DURING THE CONSTRUCTION PERIOD. INSPECTIONS OF THESE DEVICES SHALL BE CARRIED OUT AFTER EACH STORM. REPAIRS AND/OR DE-CLOGGING SHALL BE CARRIED OUT TO ENSURE PROPER OPERATION OF THE DEVICE.

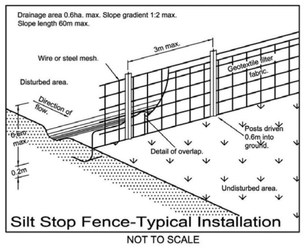
3. STORAGE OF MATERIALS AND EQUIPMENT SHALL BE WITHIN SEDIMENT CONTROLLED AREAS.

4. REMOVE SILT STOP FENCING AND DRAINAGE STRUCTURE SEDIMENT CONTROL TRAPS AFTER VEGETATION IS ESTABLISHED.

NOTE:

1. ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001(THE DEMOLITION OF STRUCTURES)

2. THIS DEMOLITION DRAWING GIVES AN INDICATION OF THE SCOPE REQUIRED TO CARRY OUT THE ALTERATIONS & ADDITIONS AS PROPOSED. THE BUILDER IS ASSUMED TO HAVE INSPECTED THE SITE DURING TENDERING & ALLOWED FOR ALL DEMOLITION INCLUDING SUNDRY WORKS NOT INDICATED ON THIS DRAWING THAT ARE REQUIRED IN ORDER TO CONSTRUCT THE WORKS.

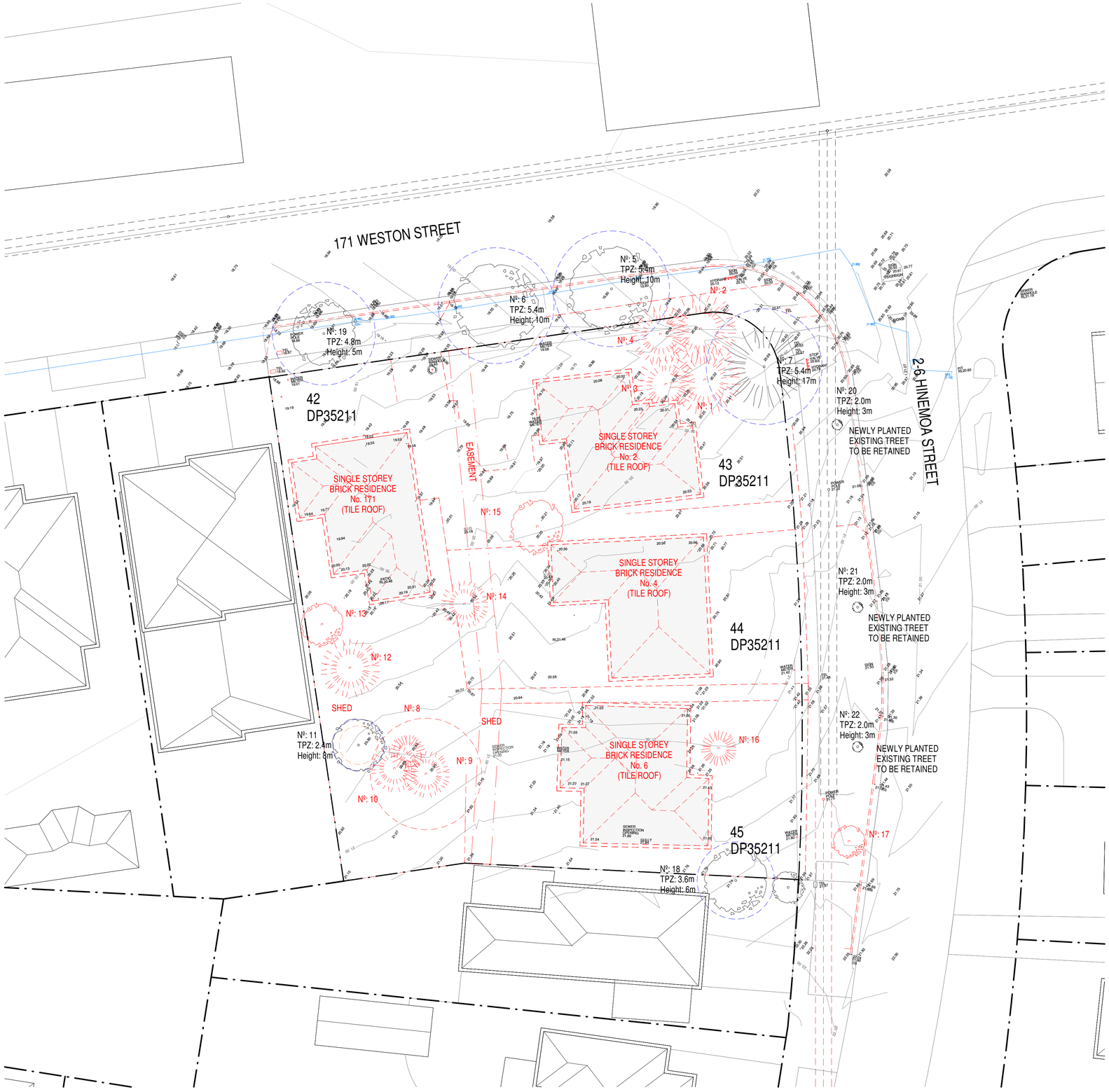


Silt Stop Fence-Typical Installation

NOT TO SCALE

PROJECT SYMBOLS LEGEND

DOORS / WINDOWS / LOUVRES / SCREENS	D01 / 101, W01 / 101, MSC1 / 101 ← TYPE (where applicable) ← NUMBER
ELEVATION LEVEL	LEVEL NAME FFL 29.010 — CL +2700
PROPOSED LEVELS	RL 29.010 — RL 29.010
EXISTING LEVELS	ex.RL 29.010 — ex.RL 29.010
REVISION	1 DESCRIPTION
ROOM	1BR / 101 ← Room Type ← Room Number
FINISHES/COLOURS Refer AF Schedule	Prefix is Material Type > **FBK1** < Suffix (1,2,3...) is a Product Reference Prefix is Material Type > **PTa** ← Suffix (a,b,c...) is a Colour Reference
RISER	H SERVICE RISER ZONE (CORING TO ENG. DETAILS)
PENETRATION	M PENETRATION IN SLAB
CONSTRUCTION PHASE	Existing — Demolition — Proposed
	Existing Planting — Planting for Removal — Proposed Planting
EXCAVATION	Cut — Fill



ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

DEMOLITION NOTE:
This demolition drawing gives an indication of the scope required to carry out the alterations & additions as proposed. The builder is assumed to have inspected the site during tendering & allowed for all demolition including sundry works not indicated on this drawing that are required in order to construct the works.

TRUE NORTH

0 5 10 15 20m
SCALE 1:200@A1 (1:400@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

NSW GOVERNMENT

PROJECT No. **21042**

CLIENT
LAHC

MORSON GROUP
NOMINATED ARCHITECT – P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Ruth Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 200

SHEET NAME: **DEMOLITION PLAN**

DRAWING No. **DA10**
ISSUE No. **A**

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SILVER/GOLD LIVEABLE UNITS - CONSTRUCTION NOTES
- Hobless Shower
- Wet areas to be such that flush transition is available

Silver Units: 1, 3, 5, 9, 10, 11, 12, 13, 15, 16, 17, 19, 20, 21, 22, 23, 25, 26, 27, 29, 30, 31, 32, 33, 35, 36, 37, 39, 40, 41, 42.
Gold Units: 4, 6, 7, 8, 14, 18, 24, 28, 34, 38.

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.
C	2025-04-08	Windows added as indicated

GENERAL LEGEND:

BR	Bedroom	FFL	Finished Floor Level	RWO	Rainwater Outlet
BRM	Broom Cupboard	LIN	Linen Cupboard	SWP	Storm Water Pit
CTL	Clothesline	MBX	Mailbox	TOW	Top of Wall
DW	Dishwasher	PTY	Pantry	TGSI	Tactile Indicators
ex.	Existing	RL	Relative Level		

TRUE NORTH

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
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LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

PROJECT No. **21042**
CLIENT LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8103
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SHEET NAME: **GROUND LEVEL PLAN**
SCALE: As indicated

DRAWING No. **DA12**
ISSUE No. **C**

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SILVER/GOLD LIVEABLE UNITS - CONSTRUCTION NOTES
- Hobless Shower
- Wet areas to be such that flush transition is available

Silver Units: 1, 3, 5, 9, 10, 11, 12, 13, 15, 16, 17, 19, 20, 21, 22, 23, 25, 26, 27, 29, 30, 31, 32, 33, 35, 36, 37, 39, 40, 41, 42.
Gold Units: 4, 6, 7, 8, 14, 18, 24, 28, 34, 38.

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.
C	2025-04-08	Windows added as indicated

GENERAL LEGEND:

BR	Bedroom	FFL	Finished Floor Level	RWO	Rainwater Outlet
BRM	Broom Cupboard	LIN	Linen Cupboard	SWP	Storm Water Pit
CTL	Clothesline	MBX	Mailbox	TOW	Top of Wall
DW	Dishwasher	PTY	Pantry	TGSI	Tactile Indicators
ex.	Existing	RL	Relative Level		

TRUE NORTH

SCALE 1:100@A1 — 0 1 2 3 4 5 7 10m (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

PROJECT No. **21042**
CLIENT LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SHEET NAME: **LEVEL 1 PLAN**
SCALE: As indicated
DRAWING No. **DA13**
ISSUE No. **C**

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SILVER/GOLD LIVEABLE UNITS - CONSTRUCTION NOTES
- Hobless Shower
- Wet areas to be such that flush transition is available

Silver Units: 1, 3, 5, 9, 10, 11, 12, 13, 15, 16, 17, 19, 20, 21, 22, 23, 25, 26, 27, 29, 30, 31, 32, 33, 35, 36, 37, 39, 40, 41, 42.
Gold Units: 4, 6, 7, 8, 14, 18, 24, 28, 34, 38.

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.
C	2025-04-08	Windows added as indicated

GENERAL LEGEND:

BR	Bedroom	FFL	Finished Floor Level	RWO	Rainwater Outlet
BRM	Broom Cupboard	LIN	Linen Cupboard	SWP	Storm Water Pit
CTL	Clothesline	MBX	Mailbox	TOW	Top of Wall
DW	Dishwasher	PTY	Pantry	TGSI	Tactile Indicators
ex.	Existing	RL	Relative Level		

TRUE NORTH

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
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LOT 42, 43, 44, 45 / DP35211

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NSW LAHC
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PARRAMATTA NSW 2124
PHONE 1800 738 718

PROJECT No. **21042**
CLIENT LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8103
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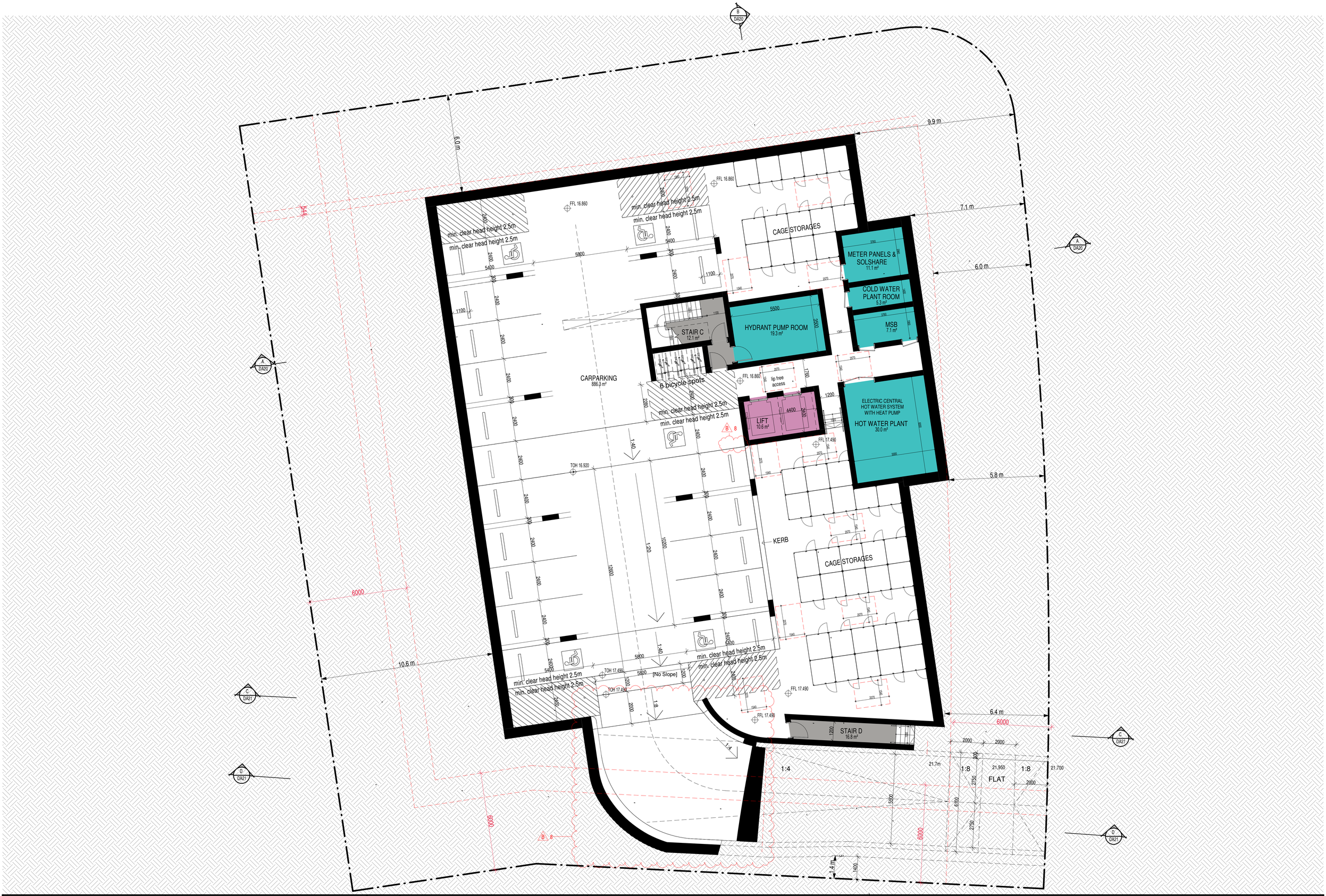
www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SHEET NAME: **LEVELS 2 & 3 TYPICAL PLAN**
SCALE: As indicated
DRAWING No. **DA14**
ISSUE No. **C**



ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

TRUE NORTH

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
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NSW LAHC
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PARRAMATTA NSW 2124
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CLIENT LAHC

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NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
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www.morsongroup.com.au
(02) 9380 4944
PO Box 170, Ports Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 100
SHEET NAME: **BASEMENT PLAN**
DRAWING No. **DA11**
ISSUE No. **B**

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SILVER/GOLD LIVEABLE UNITS - CONSTRUCTION NOTES
- Hobless Shower
- Wet areas to be such that flush transition is available

Silver Units: 1, 3, 5, 9, 10, 11, 12, 13, 15, 16, 17, 19, 20, 21, 22, 23, 25, 26, 27, 29, 30, 31, 32, 33, 35, 36, 37, 39, 40, 41, 42.
Gold Units: 4, 6, 7, 8, 14, 18, 24, 28, 34, 38.

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

GENERAL LEGEND:

BR	Bedroom	FFL	Finished Floor Level	RWO	Rainwater Outlet
BRM	Broom Cupboard	LIN	Linen Cupboard	SWP	Storm Water Pit
CTL	Clothesline	MBX	Mailbox	TOW	Top of Wall
DW	Dishwasher	PTY	Pantry	TGSI	Tactile Indicators
ex.	Existing	RL	Relative Level		

TRUE NORTH

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
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LOT 42, 43, 44, 45 / DP35211

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NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

NSW GOVERNMENT

PROJECT No. **21042**

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MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
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www.morsongroup.com.au
(02) 9380 4966
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SHEET NAME: **LEVEL 4 PLAN**
SCALE: As indicated

DRAWING No. **DA15**
ISSUE No. **B**

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ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

GENERAL LEGEND:

BR	Bedroom	FFL	Finished Floor Level	RWO	Rainwater Outlet
BRM	Broom Cupboard	LIN	Linen Cupboard	SWP	Storm Water Pit
CTL	Clothesline	MBX	Mailbox	TOW	Top of Wall
DW	Dishwasher	PTY	Pantry	TGSI	Tactile Indicators
ex.	Existing	RL	Relative Level		

TRUE NORTH

0 1 2 3 4 5 7 10m

SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
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LOT 42, 43, 44, 45 / DP35211

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PHONE 1800 738 718

NSW GOVERNMENT

PROJECT No. **21042**

CLIENT
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www.morsongroup.com.au
(02) 9380 4966
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 100

SHEET NAME: **ROOF LEVEL PLAN**

DRAWING No. **DA16**
ISSUE No. **B**

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THERMAL PERFORMANCE SPECIFICATIONS

WINDOWS (total product specification – glass + frame)
6.38CPCir glass in AL frames
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.0 bulk insulation with antiglare reflective airgap
INTERNAL WALL
Concrete or Brick Partition walls (no thermal insulation required)
EXTERNAL FLOOR
Slab on ground concrete – No insulation required
Suspended concrete (Basement below) – R1.5 bulk insulation
Suspended Concrete (Neighbour below) - No insulation
Ceiling with CONCRETE ROOF above
Plasterboard – R2.0 bulk insulation; 900mm dia ceiling fans in all bedrooms
ROOF (Medium colour) (Non-ventilated)
CONCRETE – vapour barrier only
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)
900mm dia ceiling fans in all bedrooms; 1200mm dia fan in Living/kitchen areas

This specification takes precedence over other plan notations.
NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC, at the time of building. This includes New South Wales :
- Building Thermal construction
- For metal frames, thermal breaks
- Floor edging
- Sealing of rooflights, windows and doors 3
- Any new A/C or mechanical ventilation system
- Any new heated water system
- Energy monitoring equipment

Refer to current HERS Certificate to validate these thermal specification details.

1 **STREETSCAPE ELEVATION - WESTON STREET**
1 : 100

2 **STREETSCAPE ELEVATION - HINEMOA STREET**
1 : 100

FBK1
Face Brickwork
From level 1 to level 4
AUSTRALBRICKS
PARK LANE
GROSVENOR BRICK
230x76-110-240-NAT

FBK2
Face Brickwork
Terraces and ground
AUSTRALBRICKS
BOWRAL BLUE BRICK
230x76-110-240-NAT

MFW1 / BAL1 / MSG
Window Framing System (MFW1)
Balustrade Framing / Louvres (BAL1)
Wall Capping (MSG)
Powdercoat colour finish Dark Grey

PTb
Wall Cladding

Paint Finish **Dark Grey**

GL1
Windows
Clear Glass

GL2
Windows
(Bottom panel facing the COS)
Obscure Glazing

CONC
Concrete
Balconies and awnings

White colour painted concrete

MF1
Metal Vertical
Battened Ground level gates

Powdercoat colour finish
Dark Grey

MF2
Metal Colorbond boundary Fence.

Powdercoat colour finish
Dark Grey

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

ELEVATIONS & SECTIONS LEGEND:
RL Relative Level
TOH Top of Hob
TOW Top of Wall

NOTES:
1. Read in conjunction with Window Schedule for glass types & frame finishes.

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

PROJECT No. **21042**
CLIENT LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4944
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SHEET NAME: **ELEVATIONS - SHEET 1**
SCALE: As indicated
DRAWING No. **DA17**
ISSUE No. **B**

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THERMAL PERFORMANCE SPECIFICATIONS

WINDOWS (total product specification – glass + frame)
6.38CPCtr glass in AL frames
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.0 bulk insulation with antiglare reflective airgap
INTERNAL WALL
Concrete or Brick Partition walls (no thermal insulation required)
EXTERNAL FLOOR
Slab on ground concrete – No insulation required
Suspended concrete (Basement below) – R1.5 bulk insulation
Suspended Concrete (Neighbour below) - No insulation
Ceiling with CONCRETE ROOF above
Plasterboard – R2.0 bulk insulation; 900mm dia ceiling fans in all bedrooms
ROOF (Medium colour) (Non-ventilated)
CONCRETE – vapour barrier only
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)
900mm dia ceiling fans in all bedrooms; 1200mm dia fan in Living/kitchen areas

This specification takes precedence over other plan notations.
NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC, at the time of building. This includes New South Wales :
- Building Thermal construction
- For metal frames, thermal breaks
- Floor edging
- Sealing of rooflights, windows and doors 3
- Any new A/C or mechanical ventilation system
- Any new heated water system
- Energy monitoring equipment

Refer to current HERS Certificate to validate these thermal specification details.

W1 **DA ELEVATION - WEST (NORTHERN BUILDING)**
1 : 100

W2 **DA ELEVATION - WEST (SOUTHERN BUILDING)**
1 : 100

FBK1
Face Brickwork
From level 1 to level 4
AUSTRALBRICKS
PARK LANE
GROSVENOR BRICK
230x76-110-240-NAT

FBK2
Face Brickwork
Terraces and ground
AUSTRALBRICKS
BOWRAL BLUE BRICK
230x76-110-240-NAT

MFW1 / BAL1 / MSG
Window Framing System (MFW1)
Balustrade Framing / Louvres (BAL1)
Wall Capping (MSG)
Powdercoat colour finish Dark Grey

PTb
Wall Cladding

Paint Finish **Dark Grey**

GL1
Windows
Clear Glass

B 6

GL2
Windows
(Bottom panel facing the COS)
Obscure Glazing

CONC
Concrete
Balconies and awnings

White colour painted concrete

MF1
Metal Vertical
Battened Ground level gates

Powdercoat colour finish
Dark Grey

MF2
Metal Colorbond boundary Fence.

Powdercoat colour finish
Dark Grey

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

ELEVATIONS & SECTIONS LEGEND:
RL Relative Level
TOH Top of Hob
TOW Top of Wall

NOTES:
1. Read in conjunction with Window Schedule for glass types & frame finishes.

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
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LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
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PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

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CLIENT
LAHC

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(02) 9380 4946
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SHEET NAME: **ELEVATIONS - SHEET 2**
SCALE:
As indicated

DRAWING No. **DA18**
ISSUE No. **B**

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THERMAL PERFORMANCE SPECIFICATIONS

WINDOWS (total product specification – glass + frame)
6.38CPCtr glass in AL frames
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.0 bulk insulation with antiglare reflective airgap
INTERNAL WALL
Concrete or Brick Partition walls (no thermal insulation required)
EXTERNAL FLOOR
Slab on ground concrete – No insulation required
Suspended concrete (Basement below) – R1.5 bulk insulation
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Ceiling with CONCRETE ROOF above
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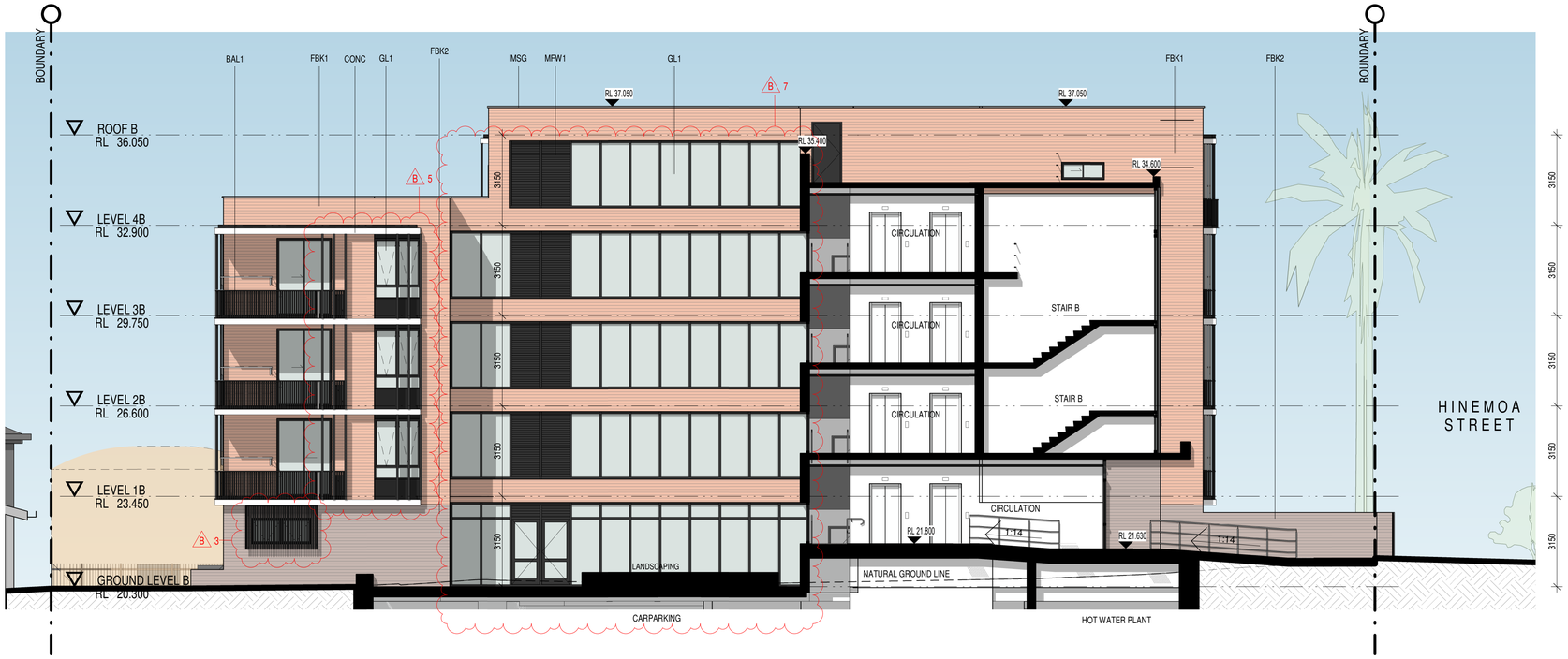
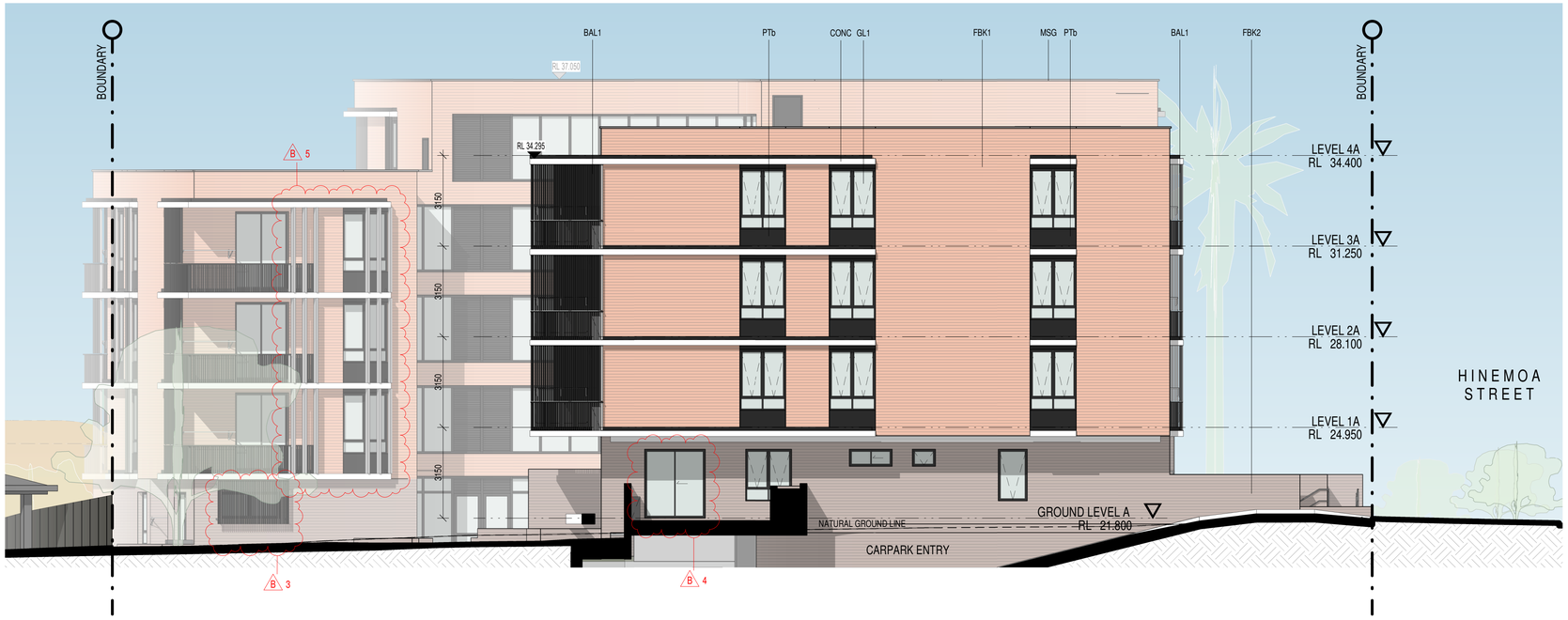
ROOF (Medium colour) (Non-ventilated)
CONCRETE – vapour barrier only
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)
900mm dia ceiling fans in all bedrooms; 1200mm dia fan in Living/kitchen areas

This specification takes precedence over other plan notations.
NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC, at the time of building. This includes New South Wales :
- Building Thermal construction
- For metal frames, thermal breaks
- Floor edging
- Sealing of rooflights, windows and doors 3
- Any new A/C or mechanical ventilation system
- Any new heated water system
- Energy monitoring equipment

Refer to current HERS Certificate to validate these thermal specification details.



1 **ELEVATION - SOUTH (NORTHERN BUILDING)**
1 : 100



2 **ELEVATION - SOUTH (SOUTHERN BUILDING)**
1 : 100

FBK1
Face Brickwork
From level 1 to level 4
AUSTRALBRICKS
PARK LANE
GROSVENOR BRICK
230x76-110-240-NAT

FBK2
Face Brickwork
Terraces and ground
AUSTRALBRICKS
BOWRAL BLUE BRICK
230x76-110-240-NAT

MFW1 / BAL1 / MSG
Window Framing System (MFW1)
Balustrade Framing / Louvres (BAL1)
Wall Capping (MSG)
Powdercoat colour finish Dark Grey

PTb
Wall Cladding
Paint Finish **Dark Grey**

GL1
Windows
Clear Glass

GL2
Windows
(Bottom panel facing the COS)
Obscure Glazing

CONC
Concrete
Balconies and awnings
White colour painted concrete

MF1
Metal Vertical
Battened Ground level gates
Powdercoat colour finish
Dark Grey

MF2
Metal Colorbond boundary Fence.
Powdercoat colour finish
Dark Grey

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

ELEVATIONS & SECTIONS LEGEND:
RL Relative Level
TOH Top of Hob
TOW Top of Wall

NOTES:
1. Read in conjunction with Window Schedule for glass types & frame finishes.

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

PROJECT No. **21042**

CLIENT
LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4944
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE: As indicated
SHEET NAME: **ELEVATIONS - SHEET 3**
DRAWING No. **DA19**
ISSUE No. **B**

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A DA11 **SECTION A-A**
1 : 100

B DA11 **SECTION B-B**
1 : 100

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

ELEVATIONS & SECTIONS LEGEND:
RL Relative Level
TOH Top of Hob
TOW Top of Wall

NOTES:
1. Read in conjunction with Window Schedule for glass types & frame finishes.

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
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CLIENT
NSW LAHC
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PARRAMATTA NSW 2124
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NSW GOVERNMENT

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CLIENT LAHC

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ACN 159 480 056, ABN 41 159 480 056
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(02) 9380 4944
PO Box 170, Ports Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 100
SHEET NAME: **SECTIONS - SHEET 1**
DRAWING No. **DA20**
ISSUE No. **A**

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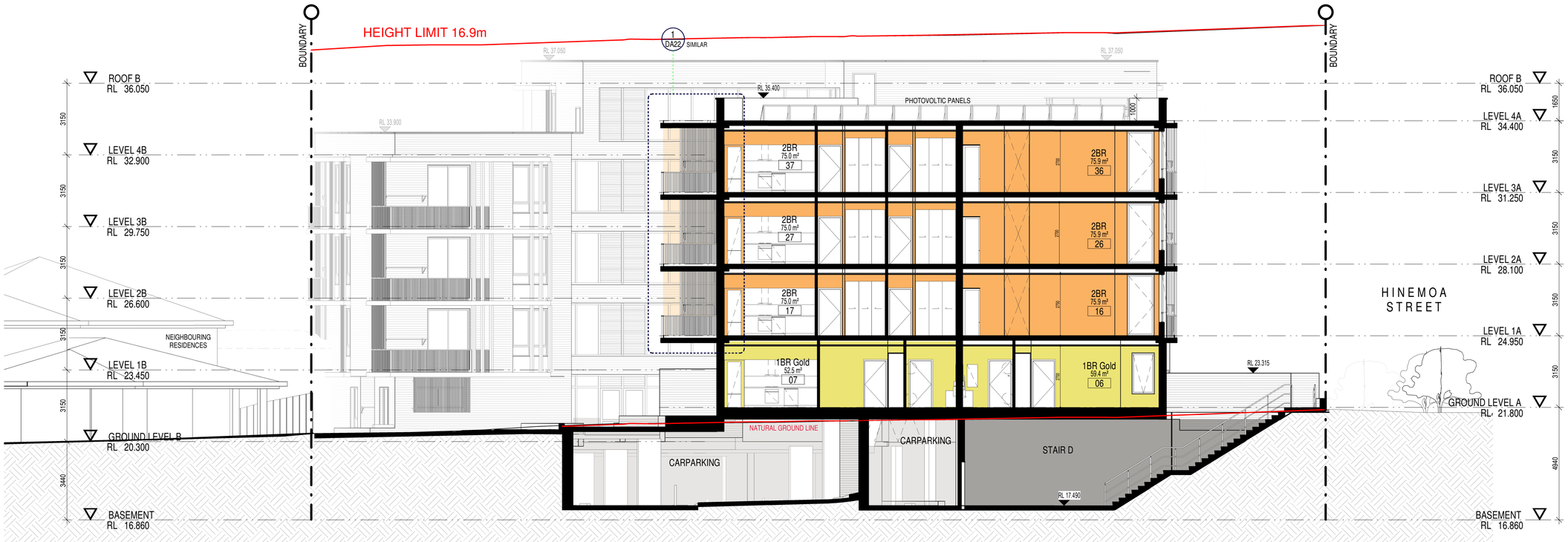
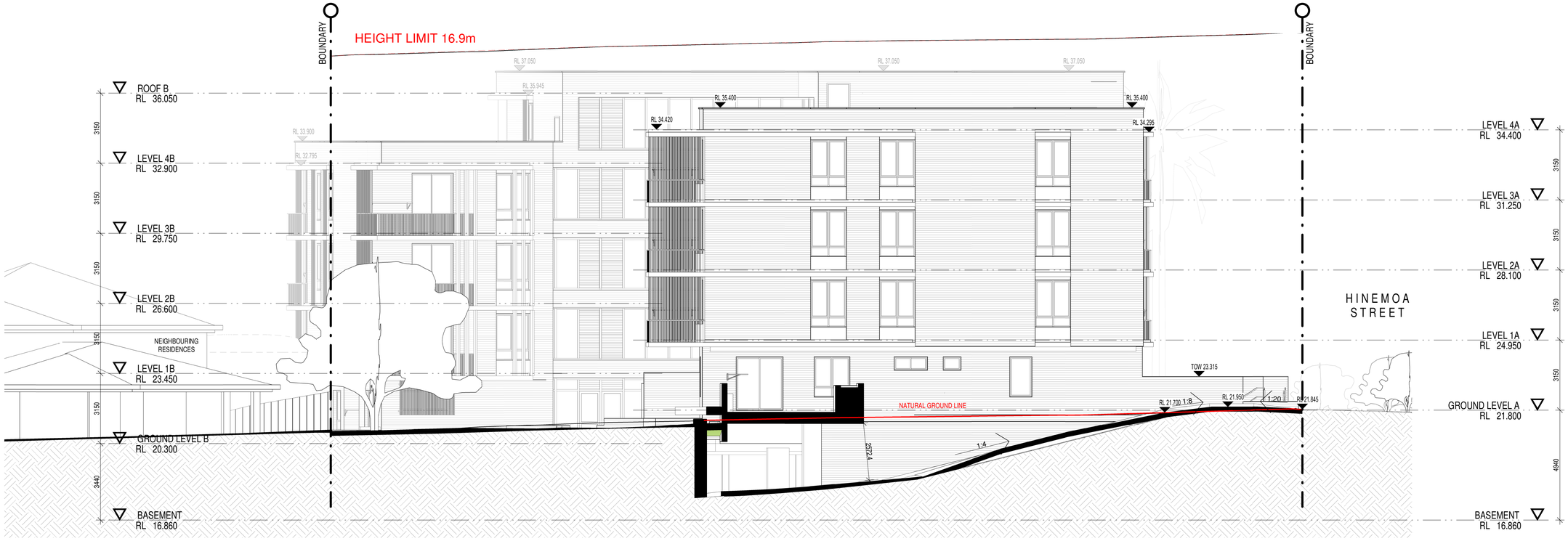


C DA11 **SECTION C-C**
1 : 100



D DA11 **SECTION D-D**
1 : 100

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

ELEVATIONS & SECTIONS LEGEND:
RL Relative Level
TOH Top of Hob
TOW Top of Wall

NOTES:
1. Read in conjunction with Window Schedule for glass types & frame finishes.

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

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CLIENT
LAHC

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ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9360 4944
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 100
SHEET NAME: **SECTIONS - SHEET 2**
DRAWING No. **DA21**
ISSUE No. **A**

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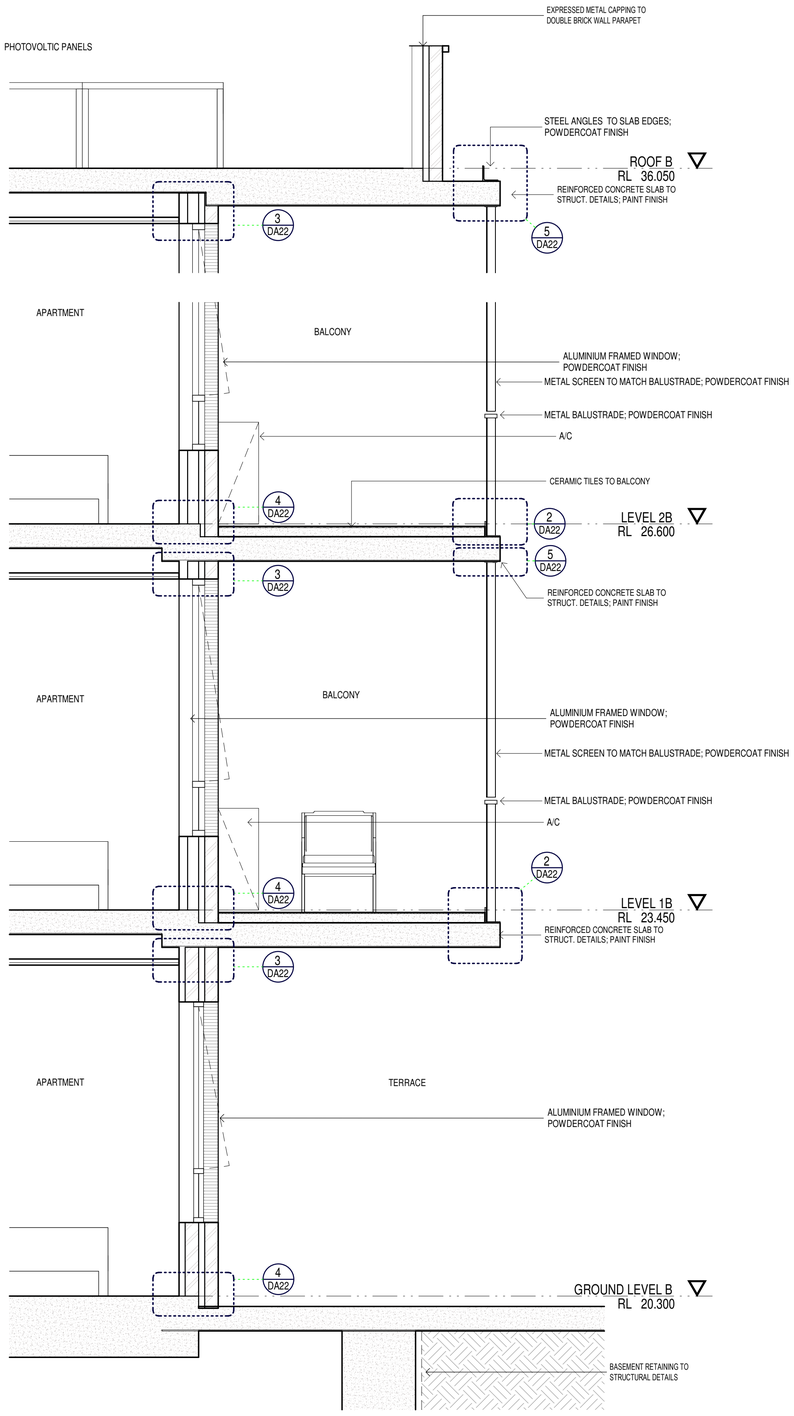
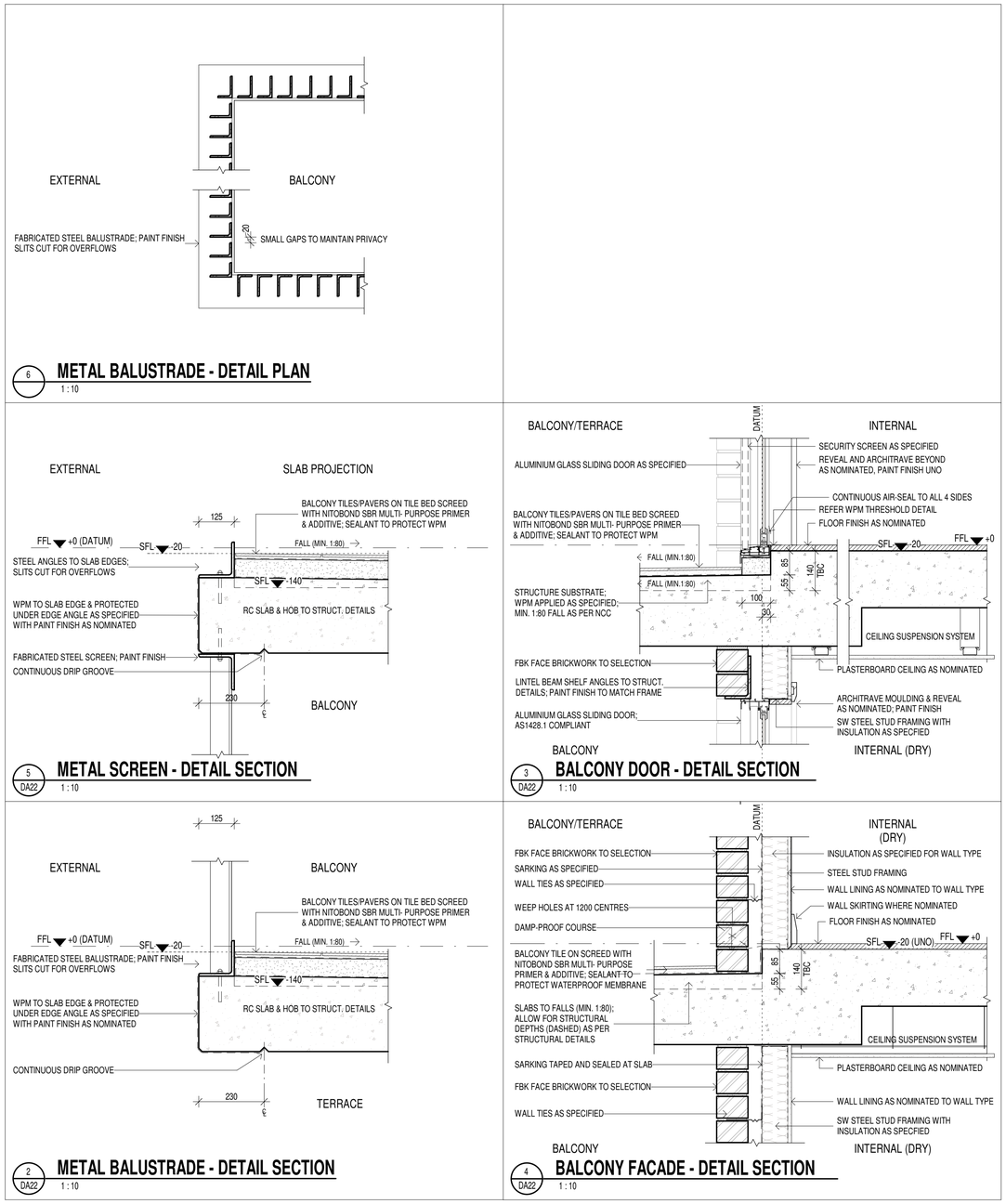


1 DA12 **FACADE SECTION 1**
1 : 25



6 **METAL BALUSTRADE - DETAIL PLAN**
1 : 10

5 DA22 **METAL SCREEN - DETAIL SECTION**
1 : 10

3 DA22 **BALCONY DOOR - DETAIL SECTION**
1 : 10

2 DA22 **METAL BALUSTRADE - DETAIL SECTION**
1 : 10

4 DA22 **BALCONY FACADE - DETAIL SECTION**
1 : 10

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

ELEVATIONS & SECTIONS LEGEND:
RL Relative Level
TOH Top of Hob
TOW Top of Wall

NOTES:
1. Read in conjunction with Window Schedule for glass types & frame finishes.

PROJECT
PANANIA - LAHC 2021/505
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LOT 42, 43, 44, 45 / DP35211

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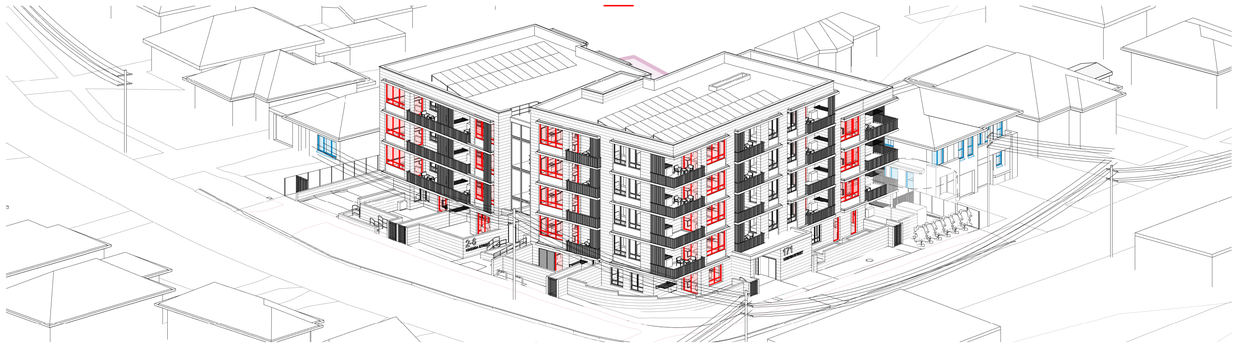
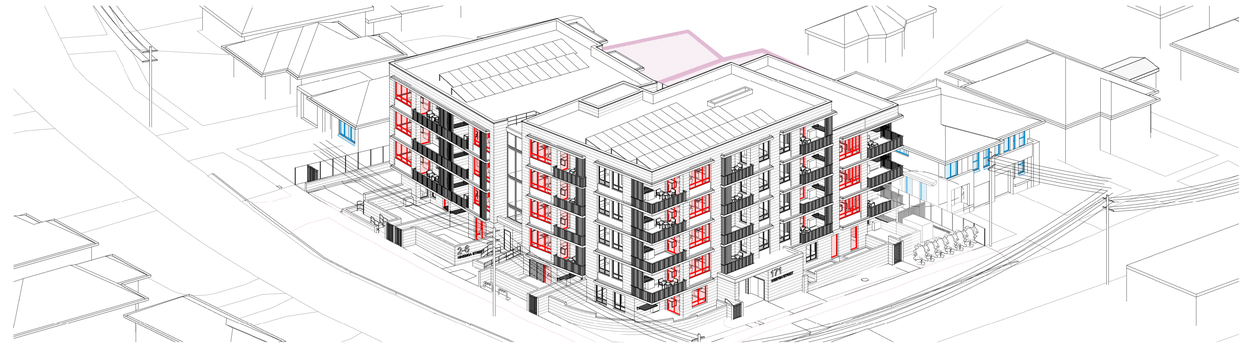
SHEET SIZE: A1
SHEET NAME: **FACADE DETAILS**
SCALE:
As indicated

DRAWING No. **DA22**
ISSUE No. **A**

24/2/2025 17:36:08 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt

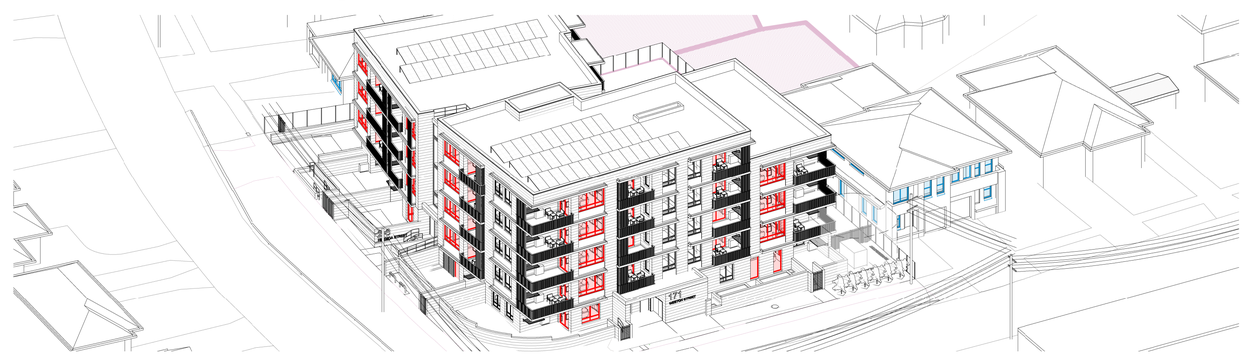


9AM EYE FROM THE SUN - 9.00AM JUN

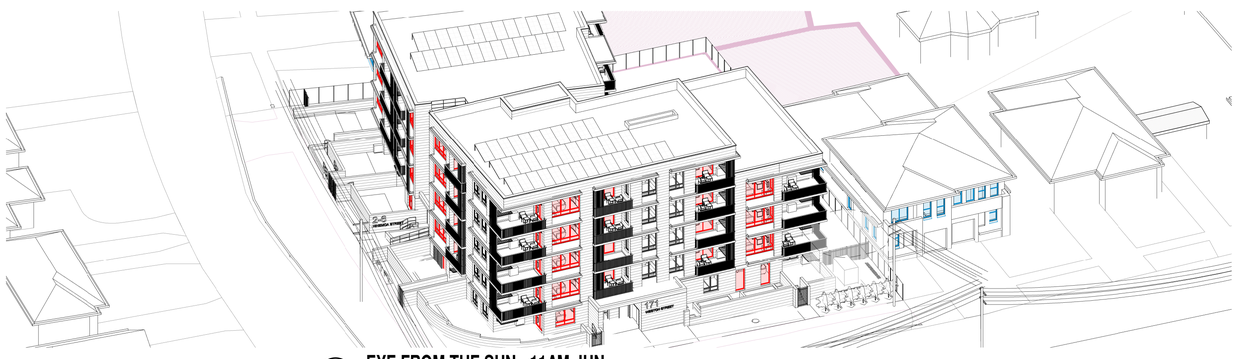


9:30 EYE FROM THE SUN - 9.30AM JUN

10AM EYE FROM THE SUN - 10AM JUN



10:30 EYE FROM THE SUN - 10.30AM JUN



11AM EYE FROM THE SUN - 11AM JUN

11:30 EYE FROM THE SUN - 11.30AM JUN

SOLAR ACCESS - GROUND FLOOR

UNIT	UNIT 01		UNIT 02		UNIT 03		UNIT 04		UNIT 05		UNIT 06		UNIT 07		UNIT 08	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																
10am - 11am																
11am - 12pm																
12pm - 1pm																
1pm - 2pm																
2pm - 3pm																

SOLAR ACCESS - SECOND FLOOR

UNIT	UNIT 19		UNIT 20		UNIT 21		UNIT 22		UNIT 23		UNIT 24		UNIT 25		UNIT 26		UNIT 27		UNIT 28	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																				
10am - 11am																				
11am - 12pm																				
12pm - 1pm																				
1pm - 2pm																				
2pm - 3pm																				

SOLAR ACCESS - FOURTH FLOOR

UNIT	UNIT 39		UNIT 40		UNIT 41		UNIT 42	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am								
10am - 11am								
11am - 12pm								
12pm - 1pm								
1pm - 2pm								
2pm - 3pm								

SOLAR ACCESS - FIRST FLOOR

UNIT	UNIT 09		UNIT 10		UNIT 11		UNIT 12		UNIT 13		UNIT 14		UNIT 15		UNIT 16		UNIT 17		UNIT 18	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																				
10am - 11am																				
11am - 12pm																				
12pm - 1pm																				
1pm - 2pm																				
2pm - 3pm																				

SOLAR ACCESS - THIRD FLOOR

UNIT	UNIT 29		UNIT 30		UNIT 31		UNIT 32		UNIT 33		UNIT 34		UNIT 35		UNIT 36		UNIT 37		UNIT 38	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																				
10am - 11am																				
11am - 12pm																				
12pm - 1pm																				
1pm - 2pm																				
2pm - 3pm																				

LIVING ROOM SOLAR ACCESS HOURS

POS SOLAR ACCESS HOURS

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

LEGEND
- LIVING ROOM WINDOWS
- WINDOW TO NEIGHBOURING DWELLING
- PRIVATE OPEN SPACE TO NEIGHBOURING DWELLING

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

NSW GOVERNMENT

PROJECT No. **21042**

CLIENT
LAHC

MORSON GROUP

NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Ryde NSW 1335

SHEET SIZE: A1
SCALE: 1 : 2

SHEET NAME: **SOLAR STUDY - SHEET 1**

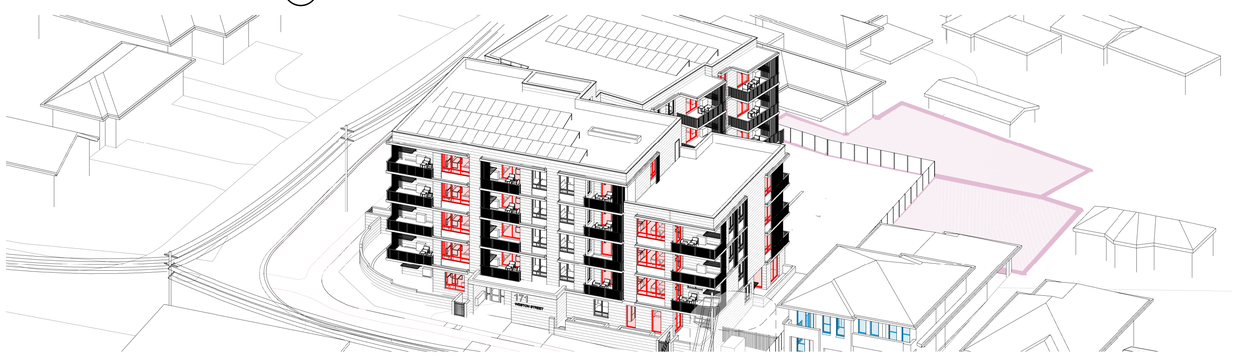
DRAWING No. **DA23**
ISSUE No. **A**

12PM EYE FROM THE SUN - 12PM JUN

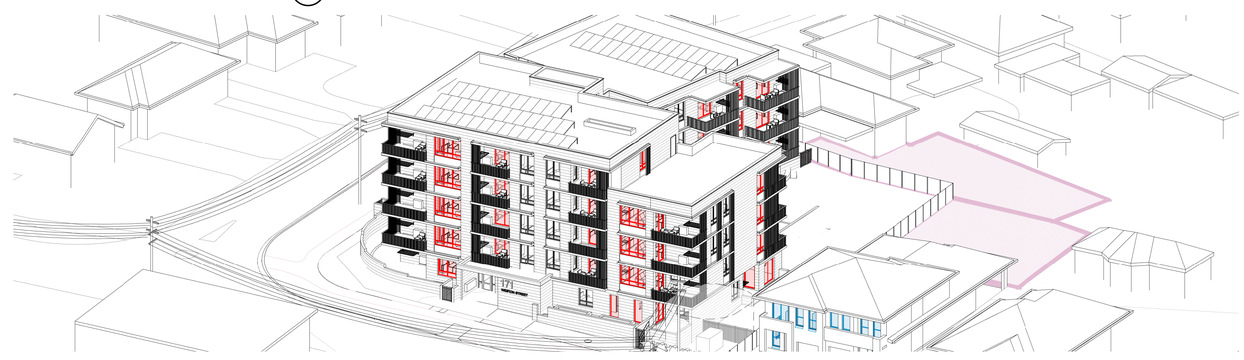
12:30 EYE FROM THE SUN - 12.30PM JUN

1PM EYE FROM THE SUN - 1PM JUN

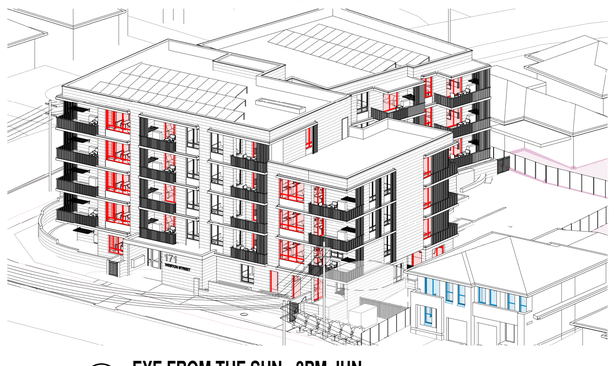
1:30 EYE FROM THE SUN - 1.30PM JUN



2PM EYE FROM THE SUN - 2PM JUN



2:30 EYE FROM THE SUN - 2.30PM JUN



3PM EYE FROM THE SUN - 3PM JUN

SOLAR ACCESS - GROUND FLOOR

UNIT	UNIT 01		UNIT 02		UNIT 03		UNIT 04		UNIT 05		UNIT 06		UNIT 07		UNIT 08	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																
10am - 11am																
11am - 12pm																
12pm - 1pm																
1pm - 2pm																
2pm - 3pm																

SOLAR ACCESS - FIRST FLOOR

UNIT	UNIT 09		UNIT 10		UNIT 11		UNIT 12		UNIT 13		UNIT 14		UNIT 15		UNIT 16		UNIT 17		UNIT 18	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																				
10am - 11am																				
11am - 12pm																				
12pm - 1pm																				
1pm - 2pm																				
2pm - 3pm																				

SOLAR ACCESS - SECOND FLOOR

UNIT	UNIT 19		UNIT 20		UNIT 21		UNIT 22		UNIT 23		UNIT 24		UNIT 25		UNIT 26		UNIT 27		UNIT 28	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																				
10am - 11am																				
11am - 12pm																				
12pm - 1pm																				
1pm - 2pm																				
2pm - 3pm																				

SOLAR ACCESS - THIRD FLOOR

UNIT	UNIT 29		UNIT 30		UNIT 31		UNIT 32		UNIT 33		UNIT 34		UNIT 35		UNIT 36		UNIT 37		UNIT 38	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am																				
10am - 11am																				
11am - 12pm																				
12pm - 1pm																				
1pm - 2pm																				
2pm - 3pm																				

SOLAR ACCESS - FOURTH FLOOR

UNIT	UNIT 39		UNIT 40		UNIT 41		UNIT 42	
LOCATION	LIVING	POS	LIVING	POS	LIVING	POS	LIVING	POS
9am - 10am								
10am - 11am								
11am - 12pm								
12pm - 1pm								
1pm - 2pm								
2pm - 3pm								

LIVING ROOM SOLAR ACCESS HOURS

POS SOLAR ACCESS HOURS

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

LEGEND
- LIVING ROOM WINDOWS
- WINDOW TO NEIGHBOURING DWELLING
- PRIVATE OPEN SPACE TO NEIGHBOURING DWELLING

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
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LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

PROJECT No. **21042**

CLIENT
LAHC

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NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
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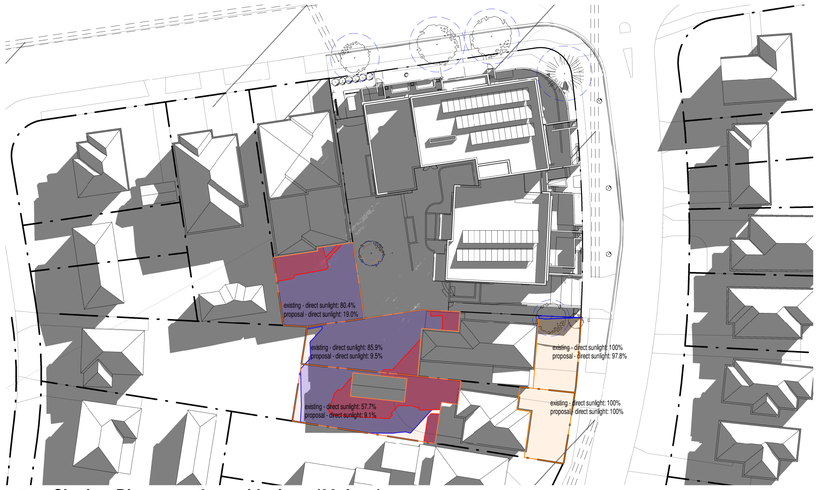
(02) 9380 4944
PO Box 170, Ruths Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 2

SHEET NAME: **SOLAR STUDY - SHEET 2**

DRAWING No. **DA24**
ISSUE No. **A**

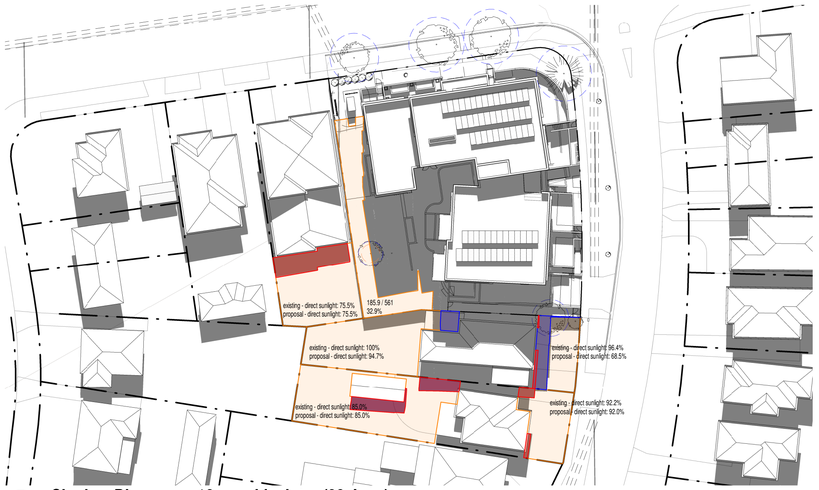
24/2/2025 17:43:13 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt



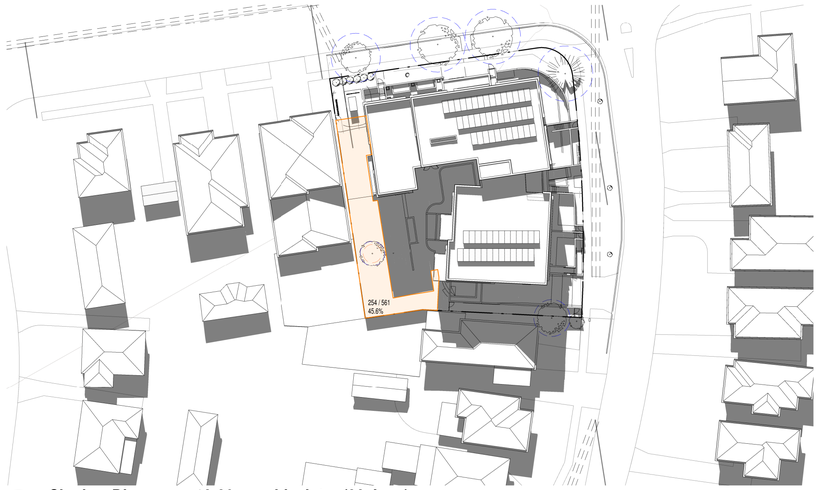
1 DA17 **Shadow Diagrams - 9am mid-winter (22 June)**
1 : 600

2 DA17 **Shadow Diagrams - 10am mid-winter (22 June)**
1 : 600

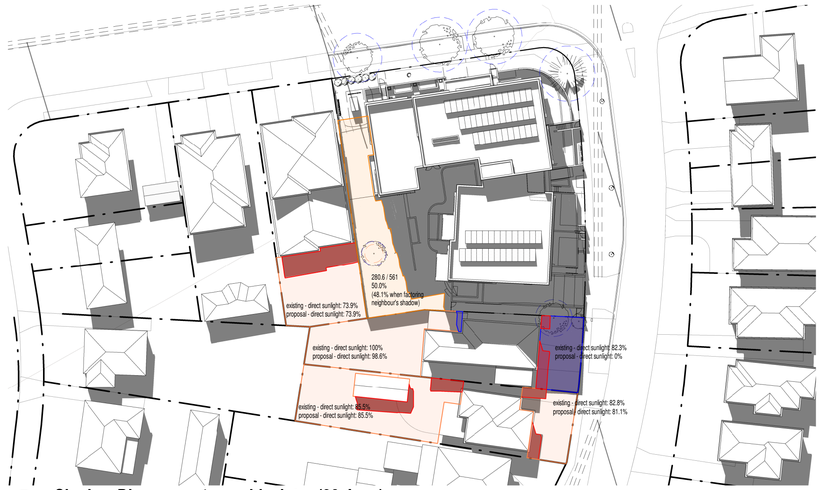
3 DA17 **Shadow Diagrams - 11am mid-winter (22 June)**
1 : 600



4 DA17 **Shadow Diagrams - 12pm mid-winter (22 June)**
1 : 600



9 DA17 **Shadow Diagrams - 12-30pm mid-winter (22 June)**
1 : 600



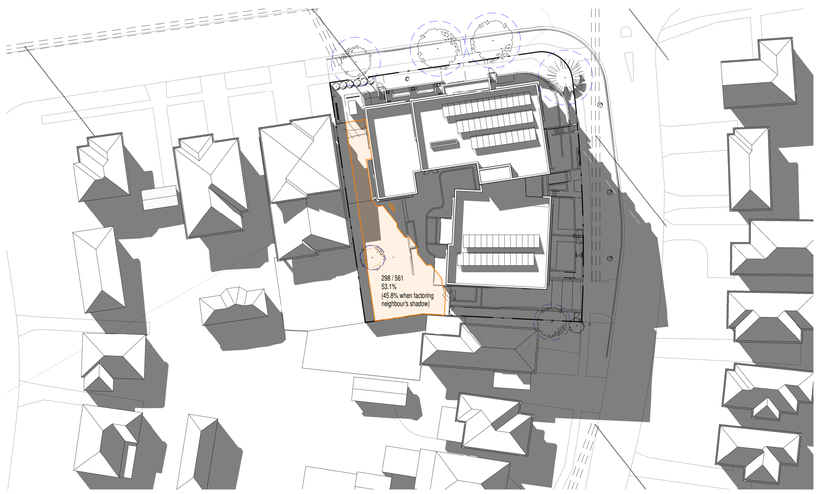
5 DA17 **Shadow Diagrams - 1pm mid-winter (22 June)**
1 : 600

SUNLIGHT: minimum of 50% **direct sunlight**		
173 WESTON	FRONTYARD	BACKYARD
9am - 10am		
10am - 11am		
11am - 12pm		
12pm - 1pm		
1pm - 2pm		
2pm - 3pm		

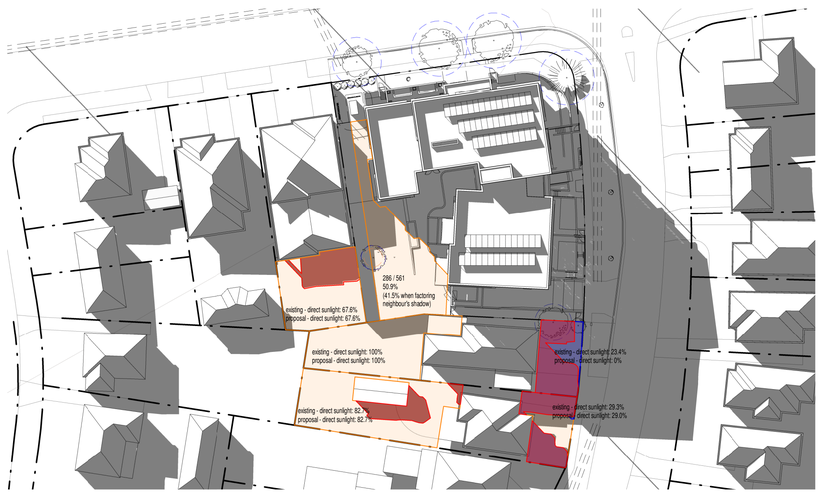
8 HINEMOA	FRONTYARD	BACKYARD
9am - 10am		
10am - 11am		
11am - 12pm		
12pm - 1pm		
1pm - 2pm		
2pm - 3pm		

10 HINEMOA	FRONTYARD	BACKYARD
9am - 10am		
10am - 11am		
11am - 12pm		
12pm - 1pm		
1pm - 2pm		
2pm - 3pm		

6 DA17 **Shadow Diagrams - 2pm mid-winter (22 June)**
1 : 600



8 DA17 **Shadow Diagrams - 2-30pm mid-winter (22 June)**
1 : 600



7 DA17 **Shadow Diagrams - 3pm mid-winter (22 June)**
1 : 600

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

TRUE NORTH

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718

NSW GOVERNMENT

PROJECT No. **21042**

CLIENT
LAHC

MORSON GROUP
NOMINATED ARCHITECT - R F MORSON REGISTRATION NUMBER 8103
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www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Forth Point, NSW 1335

SHEET SIZE: A1
SCALE: As indicated

SHEET NAME: **SHADOW DIAGRAMS**

DRAWING No. **DA25**
ISSUE No. **A**

24/2/2025 17:44:51 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE

TRUE NORTH

0 1 2 3 4 5 7 10m
SCALE 1:100@A1 (1:200@A3)

PROJECT
PANANIA - LAHC 2021/505
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www.morsongroup.com.au
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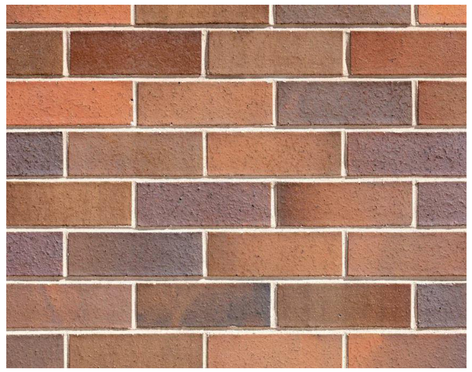
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 100
SHEET NAME: **CUT - FILL PLAN**

DRAWING No. **DA26**
ISSUE No. **A**

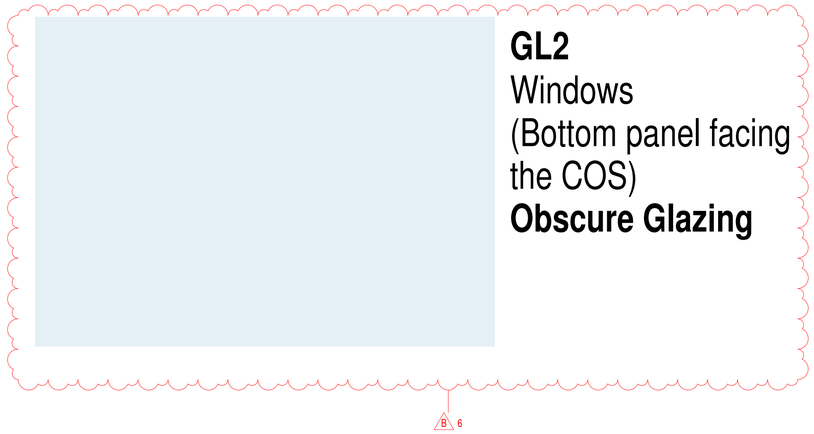
24/2/2025 17:45:04 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt



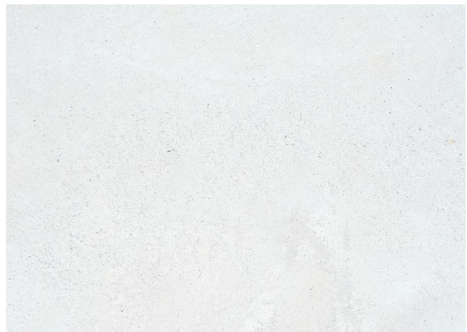
FBK1
Face Brickwork
From level 1 to level 4
AUSTRALBRICKS
PARK LANE
GROSVENOR BRICK
230x76-110-240-NAT

FBK2
Face Brickwork
Terraces and ground
AUSTRALBRICKS
BOWRAL BLUE BRICK
230x76-110-240-NAT

GL1
Windows
Clear Glass



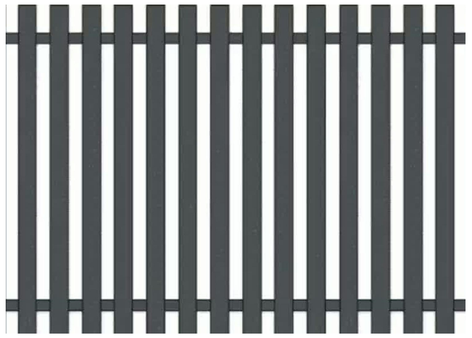
GL2
Windows
(Bottom panel facing the COS)
Obscure Glazing



CONC
Concrete
Balconies and awnings

Off-white colour painted concrete

MFW1 / BAL1 / DP1 / EG1 / MSG
Window Framing System (MFW1)
Balustrade Framing / Louvres (BAL1)
Wall Capping (MSG)
Powdercoat colour finish Dark Grey



MF1
Metal Vertical Battened Ground level gates

Powdercoat colour finish Dark Grey

PTb
Wall Cladding

Paint Finish **Dark Grey**

MF2
Metal Colorbond boundary Fence.

Powdercoat colour finish Dark Grey

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-02-24	DA MODS.

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE 1800 738 718
NSW GOVERNMENT

PROJECT No. **21042**
CLIENT
LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com.au
(02) 9380 4946
PO Box 170, Potts Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 1
SHEET NAME: **SCHEDULE OF EXTERNAL FINISHES**
DRAWING No. **DA27**
ISSUE No. **B**

24/2/2025 17:45:05 C:\Users\clari\MG Dropbox\MGP\PROJECTS\PANANIA\21042 - LAHC GH\Architecture\CAD\21042_171 Weston St, Panania_20250220_CC.rvt

1 DA17 **WINDOWS - GROUND LEVEL**
1 : 250

2 DA17 **WINDOWS - LEVEL 1A**
1 : 250

3 DA17 **WINDOWS - LEVEL 2A**
1 : 250

THERMAL PERFORMANCE SPECIFICATIONS

WINDOWS (total product specification – glass + frame)
6.38CPCfr glass in AL frames
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.0 bulk insulation with antiglare reflective airgap
INTERNAL WALL
Concrete or Brick Partition walls (no thermal insulation required)
EXTERNAL FLOOR
Slab on ground concrete – No insulation required
Suspended concrete (Basement below) – R1.5 bulk insulation
Suspended Concrete (Neighbour below) - No insulation
Ceiling with CONCRETE ROOF above
Plasterboard – R2.0 bulk insulation; 900mm dia ceiling fans in all bedrooms
ROOF (Medium colour) (Non-ventilated)
CONCRETE – vapour barrier only
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)
900mm dia ceiling fans in all bedrooms; 1200mm dia fan in Living/kitchen areas

This specification takes precedence over other plan notations.
NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC, at the time of building. This includes New South Wales :
- Building Thermal construction
- For metal frames, thermal breaks
- Floor edging
- Sealing of rooflights, windows and doors 3
- Any new A/C or mechanical ventilation system
- Any new heated water system
- Energy monitoring equipment

Refer to current HERS Certificate to validate these thermal specification details.

4 DA17 **WINDOWS - LEVEL 3A**
1 : 250

5 DA17 **WINDOWS - LEVEL 4A**
1 : 250

WINDOW SCHEDULE

CODE		DIMENSIONS					DETAILS	
Type	No.	Overall Width	Overall Height	Sill Height	Area (Note 3)	Orientation	Frame Finish	Vision Glass Type
GROUND LEVEL B								
012	01-1	2100	900	1500	1.9 m²	S	PDCa	GL1
006	01-2	2100	2400	0	5.0 m²	W	PDCa	GL1
013	01-3	1200	2400	0	2.9 m²	N	PDCa	GL1
001	01-4	1600	1800	600	2.9 m²	W	PDCa	GL1
001	01-5	1600	1800	600	2.9 m²	W	PDCa	GL1
001	02-1	1600	1800	600	2.9 m²	N	PDCa	GL1
002	02-2	1900	2400	0	4.6 m²	W	PDCa	GL1
003	02-3	1000	2400	0	2.4 m²	N	PDCa	GL1
003	02-4	1000	2400	0	2.4 m²	N	PDCa	GL1
001	02-5	1600	1800	600	2.9 m²	N	PDCa	GL1
004	03-1	2100	1800	600	3.8 m²	N	PDCa	GL1
002	03-2	1900	2400	0	4.6 m²	E	PDCa	GL1
001	03-3	1600	1800	600	2.9 m²	E	PDCa	GL1
001	03-4	1600	1800	600	2.9 m²	E	PDCa	GL1
001	04-1	1600	1800	600	2.9 m²	E	PDCa	GL1
005	04-2	3000	2400	0	7.2 m²	E	PDCa	GL1
GROUND LEVEL A								
006	05-1	2100	2400	0	5.0 m²	E	PDCa	GL1
007	05-2	1800	2400	0	4.3 m²	S	PDCa	GL1
001	05-3	1600	1800	600	2.9 m²	E	PDCa	GL1
006	06-1	2100	2400	0	5.0 m²	E	PDCa	GL1
008	06-2	800	1800	600	1.4 m²	E	PDCa*	GL1
009	06-3	1000	1800	600	1.8 m²	N	PDCa*	GL1
009	06-4	1000	1800	600	1.8 m²	S	PDCa	GL1
010	06-5	800	600	1800	0.5 m²	S	PDCa	GL1
011	07-1	1500	600	1800	0.9 m²	S	PDCa	GL1
001	07-2	1600	1800	600	2.9 m²	S	PDCa	GL1
006	07-3	2100	2400	0	5.0 m²	S	PDCa	GL1
001	07-4	1600	1800	600	2.9 m²	W	PDCa	GL1
006	08-1	2100	2400	0	5.0 m²	W	PDCa	GL1
001	08-2	1600	1800	600	2.9 m²	W	PDCa	GL1
001	08-3	1600	1800	600	2.9 m²	W	PDCa	GL1
022	08-4	1800	770	1500	1.4 m²		PDCa	GL1
LEVEL 1B								
014	09-1	1600	2100	600	3.4 m²	S	PDCa	GL1
016	09-2	1900	2700	0	5.1 m²	S	PDCa	GL1
023	09-3	2100	2100	600	4.4 m²	W	PDCa	GL1
014	10-1	1600	2100	600	3.4 m²	W	PDCa	GL1
015	10-2	1600	1700	1000	2.7 m²	N	PDCa	GL1
016	10-3	1900	2700	0	5.1 m²	W	PDCa	GL1
017	10-4	3000	2100	600	6.3 m²	N	PDCa	GL1
018	11-1	2100	2700	0	5.7 m²	N	PDCa	GL1
019	11-2	1000	2100	600	2.1 m²	W	PDCa	GL1
014	11-3	1600	2100	600	3.4 m²	N	PDCa	GL1
014	12-1	1600	2100	600	3.4 m²	N	PDCa	GL1
019	12-2	1000	2100	600	2.1 m²	E	PDCa	GL1
018	12-3	2100	2700	0	5.7 m²	N	PDCa	GL1
017	13-1	3000	2100	600	6.3 m²	N	PDCa	GL1
016	13-2	1900	2700	0	5.1 m²	E	PDCa	GL1
014	13-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	13-4	1600	2100	600	3.4 m²	E	PDCa	GL1
014	14-1	1600	2100	600	3.4 m²	E	PDCa	GL1
020	14-2	1200	2700	0	3.2 m²	N	PDCa	GL1
017	14-3	3000	2100	600	6.3 m²	E	PDCa	GL1

WINDOW SCHEDULE

CODE		DIMENSIONS					DETAILS	
Type	No.	Overall Width	Overall Height	Sill Height	Area (Note 3)	Orientation	Frame Finish	Vision Glass Type
LEVEL 1A								
017	15-1	3000	2100	600	6.3 m²	E	PDCa	GL1
021	15-2	1800	2700	0	4.9 m²	S	PDCa	GL1
014	15-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	16-1	1600	2100	600	3.4 m²	E	PDCa	GL1
014	16-2	1600	2100	600	3.4 m²	E	PDCa	GL1
020	16-3	1200	2700	0	3.2 m²	N	PDCa	GL1
017	16-4	3000	2100	600	6.3 m²	E	PDCa	GL1
014	17-1	1600	2100	600	3.4 m²	S	PDCa	GL1
014	17-2	1600	2100	600	3.4 m²	S	PDCa	GL1
018	17-3	2100	2700	0	5.7 m²	W	PDCa	GL1
014	17-4	1600	2100	600	3.4 m²	W	PDCa	GL1
018	18-1	2100	2700	0	5.7 m²	W	PDCa	GL1
014	18-2	1600	2100	600	3.4 m²	W	PDCa	GL1
014	18-3	1600	2100	600	3.4 m²	W	PDCa	GL1
022	18-4	1800	770	1500	1.4 m²		PDCa	GL1
LEVEL 2B								
014	19-1	1600	2100	600	3.4 m²	S	PDCa	GL1
016	19-2	1900	2700	0	5.1 m²	S	PDCa	GL1
023	19-3	2100	2100	600	4.4 m²	W	PDCa	GL1
014	20-1	1600	2100	600	3.4 m²	W	PDCa	GL1
014	20-2	1600	2100	600	3.4 m²	W	PDCa	GL1
016	20-3	1900	2700	0	5.1 m²	W	PDCa	GL1
017	20-4	3000	2100	600	6.3 m²	N	PDCa	GL1
018	21-1	2100	2700	0	5.7 m²	N	PDCa	GL1
019	21-2	1000	2100	600	2.1 m²	W	PDCa	GL1
014	21-3	1600	2100	600	3.4 m²	N	PDCa	GL1
014	22-1	1600	2100	600	3.4 m²	N	PDCa	GL1
019	22-2	1000	2100	600	2.1 m²	E	PDCa	GL1
018	22-3	2100	2700	0	5.7 m²	N	PDCa	GL1
017	23-1	3000	2100	600	6.3 m²	N	PDCa	GL1
016	23-2	1900	2700	0	5.1 m²	E	PDCa	GL1
014	23-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	23-4	1600	2100	600	3.4 m²	E	PDCa	GL1
014	24-1	1600	2100	600	3.4 m²	E	PDCa	GL1
020	24-2	1200	2700	0	3.2 m²	N	PDCa	GL1
017	24-3	3000	2100	600	6.3 m²	E	PDCa	GL1
LEVEL 2A								
017	25-1	3000	2100	600	6.3 m²	E	PDCa	GL1
021	25-2	1800	2700	0	4.9 m²	S	PDCa	GL1
014	25-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	26-1	1600	2100	600	3.4 m²	E	PDCa	GL1
014	26-2	1600	2100	600	3.4 m²	E	PDCa	GL1
020	26-3	1200	2700	0	3.2 m²	N	PDCa	GL1
017	26-4	3000	2100	600	6.3 m²	E	PDCa	GL1
014	26-5	1600	2100	600	3.4 m²	S	PDCa	GL1
014	27-1	1600	2100	600	3.4 m²	S	PDCa	GL1
014	27-2	1600	2100	600	3.4 m²	S	PDCa	GL1
018	27-3	2100	2700	0	5.7 m²	W	PDCa	GL1
014	27-4	1600	2100	600	3.4 m²	W	PDCa	GL1
018	28-1	2100	2700	0	5.7 m²	W	PDCa	GL1

WINDOW SCHEDULE

CODE		DIMENSIONS					DETAILS	
Type	No.	Overall Width	Overall Height	Sill Height	Area (Note 3)	Orientation	Frame Finish	Vision Glass Type
014	28-2	1600	2100	600	3.4 m²	W	PDCa	GL1
014	28-3	1600	2100	600	3.4 m²	W	PDCa	GL1
022	28-4	1800	770	1500	1.4 m²		PDCa	GL1
LEVEL 3B								
014	29-1	1600	2100	600	3.4 m²	S	PDCa	GL1
016	29-2	1900	2700	0	5.1 m²	S	PDCa	GL1
023	29-3	2100	2100	600	4.4 m²	W	PDCa	GL1
014	30-1	1600	2100	600	3.4 m²	W	PDCa	GL1
014	30-2	1600	2100	600	3.4 m²	W	PDCa	GL1
016	30-3	1900	2700	0	5.1 m²	W	PDCa	GL1
017	30-4	3000	2100	600	6.3 m²	N	PDCa	GL1
018	31-1	2100	2700	0	5.7 m²	N	PDCa	GL1
019	31-2	1000	2100	600	2.1 m²	W	PDCa	GL1
014	31-3	1600	2100	600	3.4 m²	N	PDCa	GL1
014	32-1	1600	2100	600	3.4 m²	N	PDCa	GL1
019	32-2	1000	2100	600	2.1 m²	E	PDCa	GL1
018	32-3	2100	2700	0	5.7 m²	N	PDCa	GL1
017	33-1	3000	2100	600	6.3 m²	N	PDCa	GL1
016	33-2	1900	2700	0	5.1 m²	E	PDCa	GL1
014	33-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	33-4	1600	2100	600	3.4 m²	E	PDCa	GL1
014	34-1	1600	2100	600	3.4 m²	E	PDCa	GL1
020	34-2	1200	2700	0	3.2 m²	N	PDCa	GL1
017	34-3	3000	2100	600	6.3 m²	E	PDCa	GL1
LEVEL 3A								
017	35-1	3000	2100	600	6.3 m²	E	PDCa	GL1
021	35-2	1800	2700	0	4.9 m²	S	PDCa	GL1
014	35-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	36-1	1600	2100	600	3.4 m²	E	PDCa	GL1
014	36-2	1600	2100	600	3.4 m²	E	PDCa	GL1
020	36-3	1200	2700	0	3.2 m²	N	PDCa	GL1
017	36-4	3000	2100	600	6.3 m²	E	PDCa	GL1
014	36-5	1600	2100	600	3.4 m²	S	PDCa	GL1
014	37-1	1600	2100	600	3.4 m²	S	PDCa	GL1
014	37-2	1600	2100	600	3.4 m²	S	PDCa	GL1
018	37-3	2100	2700	0	5.7 m²	W	PDCa	GL1
014	37-4	1600	2100	600	3.4 m²	W	PDCa	GL1
018	38-1	2100	2700	0	5.7 m²	W	PDCa	GL1
014	38-2	1600	2100	600	3.4 m²	W	PDCa	GL1
014	38-3	1600	2100	600	3.4 m²	W	PDCa	GL1
022	38-4	1800	770	1500	1.4 m²		PDCa	GL1
LEVEL 4B								
014	39-1	1600	2100	600	3.4 m²	W	PDCa	GL1
018	39-2	2100	2700	0	5.7 m²	W	PDCa	GL1
019	39-3	1000	2100	600	2.1 m²	W	PDCa	GL1
014	39-4	1600	2100	600	3.4 m²	N	PDCa	GL1
014	40-1	1600	2100	600	3.4 m²	N	PDCa	GL1
019	40-2	1000	2100	600	2.1 m²	E	PDCa	GL1
018	40-3	2100	2700	0	5.7 m²	N	PDCa	GL1
017	41-1	3000	2100	600	6.3 m²	N	PDCa	GL1
016	41-2	1900	2700	0	5.1 m²	E	PDCa	GL1
014	41-3	1600	2100	600	3.4 m²	E	PDCa	GL1
014	41-4	1600	2100	600	3.4 m²	E	PDCa	GL1
014	42-1	1600	2100	600	3.4 m²	E	PDCa	GL1
020	42-2	1200	2700	0	3.2 m²	N	PDCa	GL1
017	42-3	3000	2100	600	6.3 m²	E	PDCa	GL1
011	42-4	1500	600	1600	0.9 m²	S	PDCa	GL1

Grand total: 155

ISSUE	DATE	AMENDMENT
A	2024-08-30	DA ISSUE
B	2025-04-08	Windows added as indicated

TRUE NORTH

0 5 10 15 20 25m
SCALE 1:250@A1 (1:500@A3)

PROJECT
PANANIA - LAHC 2021/505
ADDRESS
171 Weston St & 2-6 Hinemoa St, Panania, NSW, 2213
LOT 42, 43, 44, 45 / DP35211

CLIENT
NSW LAHC
LOCKED BAG 5022
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PROJECT No. **21042**
CLIENT LAHC

MORSON GROUP
NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
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PO Box 170, Profile Point, NSW 1335

SHEET SIZE: A1
SCALE: 1 : 250
SHEET NAME: **WINDOW SCHEDULE**
DRAWING No. **DA28**
ISSUE No. **B**